



NOTICE OF PUBLIC MEETING
TOWN OF RANCHO VIEJO
BOARD OF ADJUSTMENTS AND APPEALS
February 7, 2017
9:00 A.M.

NOTICE is hereby given of a Meeting of the BOARD OF ADJUSTMENTS AND APPEALS of the TOWN OF RANCHO VIEJO, TEXAS, to be held on February 7, 2017, at 9:00 A.M., in the TOWN MUNICIPAL OFFICE, 3301 Carmen Avenue, Rancho Viejo, Texas to consider the following items:

1. Call to Order
2. Roll Call
3. Approval of Minutes - September 1, 2016
4. Request for a variance by Mr. Anthony De Ponce, representative for IRON PEARL INC, owner, Lot 1502 Section 4 North, 504 Zapata Avenue, Rancho Viejo, Texas 78575, to provide for a variance from Ordinance, Chapter 70, Article III, Zoning Regulations and Rules, Division 1., Section 70-250. Regulations applicable to all districts, (a) Setback Regulations (3) - to be within 25 feet of the right-of-way. This would apply to a portion of the front of the home.
5. Adjourn

Fred Blanco, Town Administrator

MINUTES OF A REGULAR MEETING
BOARD OF ADJUSTMENTS AND APPEALS
SEPTEMBER 1, 2016

A Regular Meeting of the BOARD OF ADJUSTMENTS AND APPEALS of the TOWN OF RANCHO VIEJO was held on September 1, 2016 in the TOWN MUNICIPAL OFFICE, 3301 Carmen Avenue, Rancho Viejo, Texas, the same being open to the public.

1. CALL TO ORDER:

The meeting was called to order by Mr. Dionel Ortiz at 9:00 A.M.

2. ROLL CALL:

Roll call was made by Isabel Perales, Assistant Town Secretary. Members present at the meeting were:

Mr. Larry Berletch
Mr. Jorge de la Garza
Mr. Fred Kennedy
Mr. Richard Lowry
Mr. Dionel Ortiz

A quorum was present for the meeting.

Those present at the meeting were:

Joe L. Villarreal	Noe Frausto	Jean Hager
Jeff Lewis	Fred Blanco	Cyndie Rathbun

3. APPROVAL OF MINUTES - JUNE 14, 2016:

Motion was made by Mr. Lowry, seconded by Mr. Kennedy, and unanimously carried, to approve the Minutes of the Board of Adjustments and Appeals Meeting held on June 14, 2016, as written.

4. REVIEW REQUEST FOR VARIANCE BY MR. JOE L. VILLARREAL, REPRESENTATIVE FOR MR. NOE FRAUSTO, OWNER, LOT 1 BLOCK 4, RANCHO NUEVO SUBDIVISION, 67 JACKLYN STREET, RANCHO VIEJO, TEXAS 78575, TO PROVIDE FOR A VARIANCE FROM ORDINANCE, CHAPTER 70, ARTICLE III, ZONING REGULATIONS AND RULES, DIVISION 1., SECTION 70-250. REGULATIONS APPLICABLE TO ALL DISTRICTS, (A) SETBACK REGULATIONS (3) - TO BE WITHIN 25 FEET OF THE RIGHT-OF-WAY. THIS WOULD APPLY TO THE RIGHT SIDE OF THE HOME ON THE SIDE OF QUINTIN STREET.

Mr. Ortiz opened the public hearing. Mrs. Jean Hager, Chairman of the Strategic Planning Committee said that after detailed review and after visiting the site, the Strategic Planning Committee agreed to not recommend the variance approval. Mayor Cyndie Rathbun, member of the Strategic Planning Committee further commented that the committee did not find a valid hardship. Mr. Noe Frausto, owner gave an explanation of the request and stated his hardship, he also mentioned that only a portion of the home would be in the setback area.

There were no further comments from the audience. After everyone was given an opportunity to speak on the matter, Mr. Ortiz closed the public hearing.

September 1, 2016

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Motion was made by Mr. Lowry, seconded by Mr. de la Garza, and unanimously carried, to deny the request for variance.

5. ADJOURNMENT:

Motion was made by Mr. de la Garza, seconded by Mr. Kennedy, and unanimously carried, to adjourn the meeting at 9:24 A.M.

BY: _____
Fred Blanco, Town Administrator

APPROVED: _____
Dionel Ortiz, Chairman

DATE: _____

January 3, 2017

Mr. Fred Blanco,
Town Administrator
Rancho Viejo, Texas

Ref: Variance request under Hardship situation based on Article III. Zoning Regulations and Rules, Division 1-Section 70-250-a- (3) Variance Requested Two (2') Feet Within the 25 Feet of the right-of-way.

Dear Mr. Blanco

The owners of the residence located at 504 Zapata Ave. hereby request that Variance of Two (2') Feet be granted under Hardship situation so we can continue make restorations and repairs to the home at the above described location.. The residence suffered a plumbing leak from an upstairs bathroom while the occupants were on vacation. Unfortunately, the leak continued and the water was running for about 4 days before it was discovered. Damage was extensive. Ceilings and walls collapsed and water flooded the floors throughout the home. Walls, insulation, flooring, personal property, and infrastructure was damaged throughout the home. The stairway providing access to the upstairs area was removed because water damage to the stair base and the structure supporting it as well as the flooring itself. The prior location of the stairway made it difficult to rebuild in that area and still comply with current code requirements due to space limitations. A better design was to move the stairway to the front of the home.

As part of the renovation and repairs we take the opportunity to make an addition of the living area as per attached building plans and for which we are requesting a building permit from you also.

Next Generation Homes, Llc. is conducting demolition and repairs. The owner has elected to move forward with an extensive remodel at this time as a result of the necessity to rebuild anyway. The owner has incurred substantial expenses in the demolition and rebuild.

During the course of the rebuild, it was discovered that original water and sewer lines were improperly installed during original construction. These lines had to be rerouted and replaced, including the connection with Rancho Viejo MUD.

As part of the reconstruction, the owners, re-designed the entry and stairway which now meets current code requirements and works in the redesigned space available in the home as would show in the attached plans.

We respectfully request that your office approve a variance of 2' to the front of the residence in order to provide a new entry and access to the upstairs section of the home.

Drawings and recently obtained Survey would be presented in support of this request

Thank you for your assistance in this matter.

Respectfully submitted,



Anthony De Ponce
Next Generation Homes, Llc.
608 Zapata, Ave.
Rancho Viejo, TX 78575

Attached:

Copies:

9 each 11 X 17

7 each regular Size

Photos of Damages

Chapter 70. ARTICLE III. - ZONING REGULATIONS AND RULES DIVISION 1. –
GENERALLY Sec. 70-250. - Regulations applicable to all districts.

- (a) *Setback regulations.* No vertical structure or manufacture of any kind, temporary or permanent, including overhangs (no roofs may overhang into any setback area) which has a vertical height of more than two feet from the slab shall be placed within the setback herein set forth, to wit: Except fence and wall regulations which have different setbacks.

For the purpose of these ordinances the following definitions shall prevail:

Right-of-way: Includes the paved portion as well as the unpaved portion of the "right-of-way". Any other words, road, roadway or thorough-fare, are not to be used in the zoning chapter.

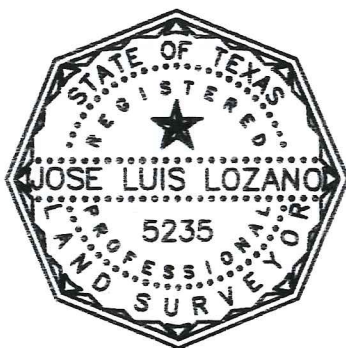
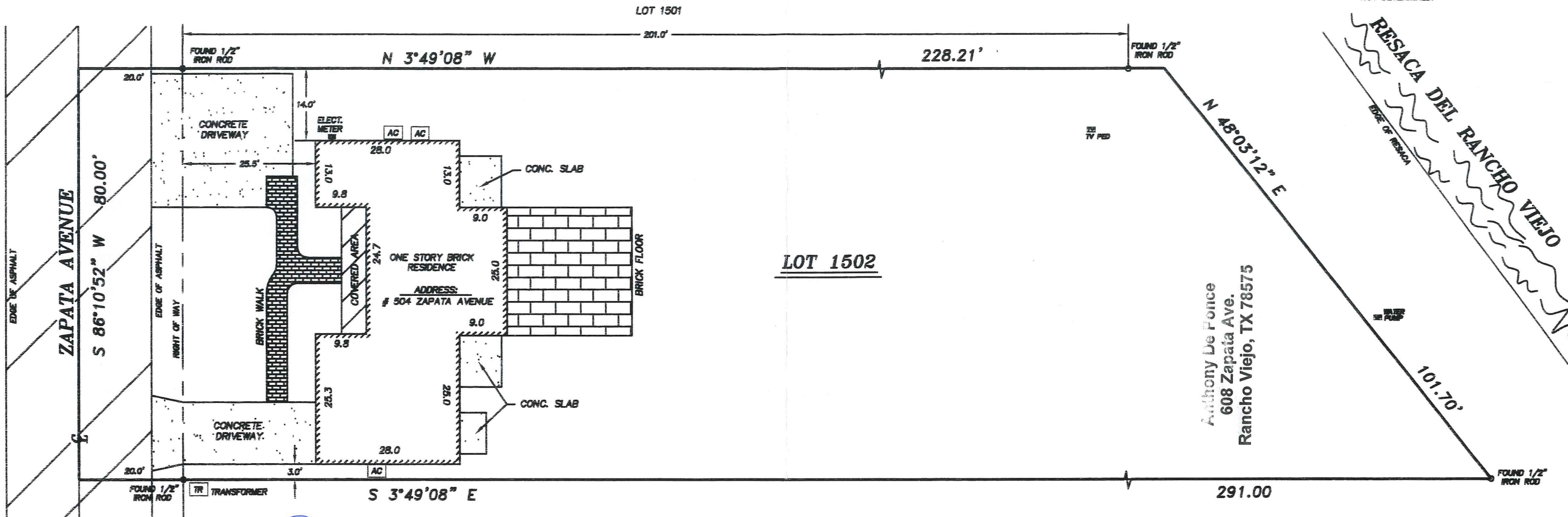
- (3) Within 25 feet of the right-of-way;

NOTES:

- 1.- THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
- 2.- HOMELAND SURVEYING COMPANY, HAS MADE NO INDEPENDENT SEARCH OF LEGAL MATTERS OF RECORD.

FLOOD ZONE:

FLOOD INSURANCE RATED WITH COMMUNITY
 PANEL No. 490101 0350 B
 EFFECTIVE DATE: SEPTEMBER 15, 1983
 THIS PARCEL OF LAND LIES IN ZONE "C"
 ZONE "C" (Areas outside Resaca)
 ZONE "C" = AREAS OF MINIMAL FLOODING
 ZONE "A" (Areas within Resaca)
 ZONE "A" = AREAS OF 100-YEAR FLOOD; BASE FLOOD
 ELEVATIONS AND FLOOD HAZARD FACTORS
 NOT DETERMINED.



"THE UNDERSIGNED HEREBY CERTIFIES THAT THIS SURVEY, AS DESCRIBED HEREIN, WAS MADE ON THE GROUND ON NOVEMBER 18, 2016, THAT THE ONLY IMPROVEMENTS ON THE GROUND ARE AS SHOWN; THAT THERE ARE NO VISIBLE ENCROACHMENTS, VISIBLE OVERLAPPIINGS, APPARENT CONFLICTS OR VISIBLE EASEMENTS, EXCEPT AS SHOWN HEREIN.

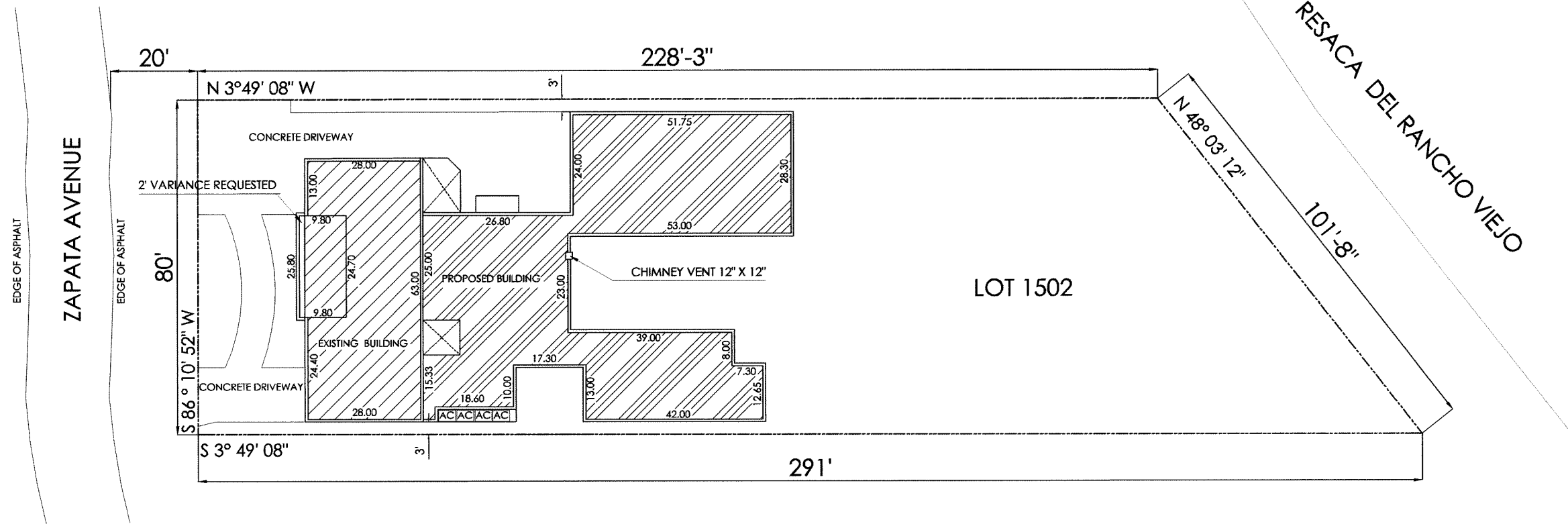
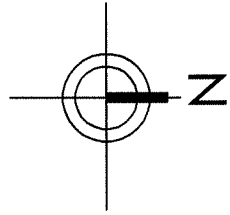
LOT 1502, NORTH RANCHO VIEJO SUBDIVISION, SECTION IV, TOWN OF RANCHO VIEJO, CAMERON COUNTY, TEXAS, ACCORDING TO MAP OR PLAT THEREOF RECORDED IN VOLUME 28, PAGE 49-A, MAP RECORDS OF CAMERON COUNTY, TEXAS, AS HERETO ADOPTED KNOWN AS 504 ZAPATA AVE., RANCHO VIEJO, TEXAS 78575.

SURVEYED FOR: ANTHONY DePONCE

PLAT OF SURVEY



HOMELAND
Land Surveying Co.
 34 S. CAMINO DEL REY
 BROWNSVILLE, TEXAS 78520
 homelandsurveying@yahoo.com
 CELL Phone: (956) 341-7683
 Mailing Address:
 P.O. BOX 598
 OLMITO, TEXAS 78575



SITE PLAN

SCALE 1" = 30' (1:360)

AREA CALCULATOR

EXISTING AREA

FIRST FLOOR = 1764 SQ. FT.
SECOND FLOOR = 718.67 SQ. FT.

TOTAL = 2482.67 SQ. FT

PROPOSED AREA

FIRST FLOOR = 4176.26 SQ. FT.
SECOND FLOOR = 944.42 SQ. FT.

TOTAL = 5120.68 SQ. FT

General Notes

No.	Revision/Issue	Date

PROJECT

FR 504 ZAPATA

LOCATION

504 ZAPATA AVENUE
RANCHO VIEJO,
BROWNSVILLE, TX

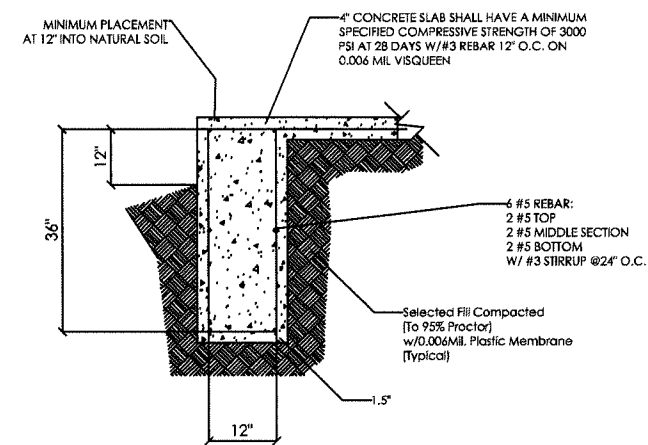
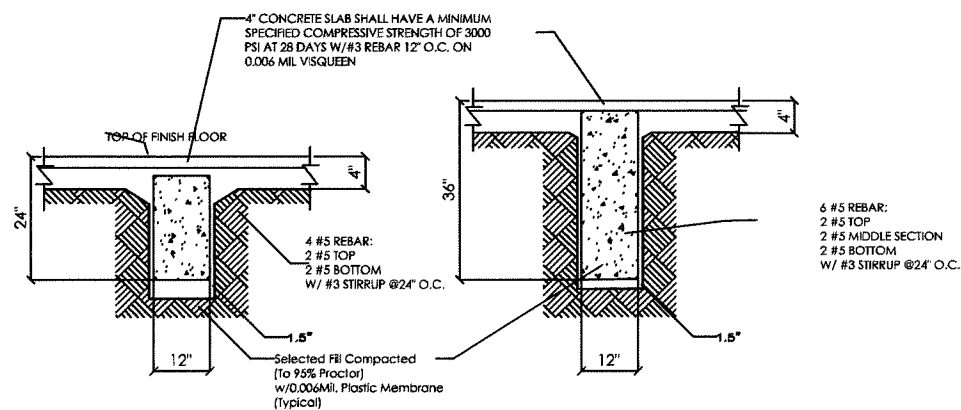
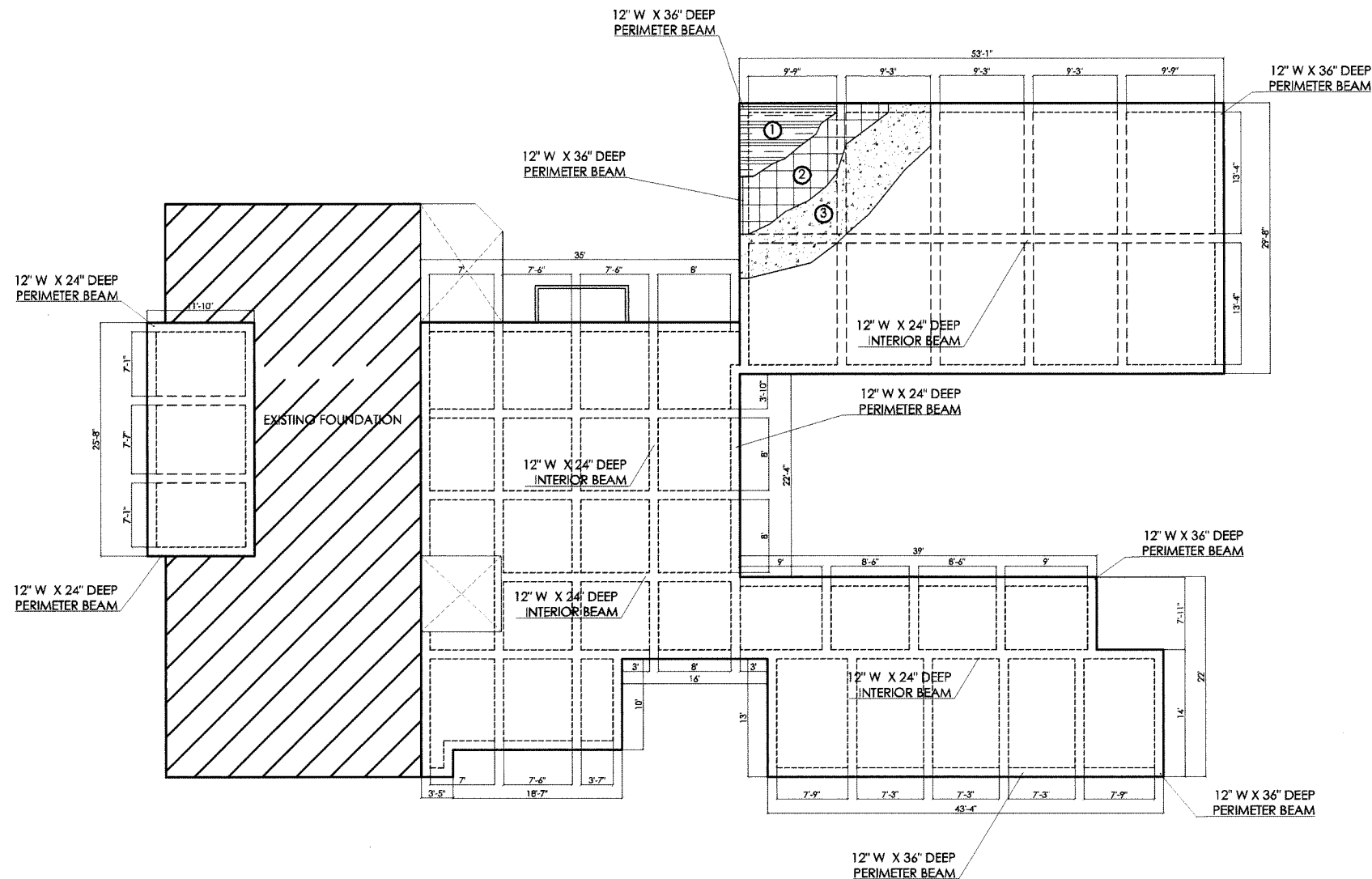
DATE: 1/8/2017

SCALE: 1:360

DRAWN BY: T.R.

SHEET No:

1



GENERAL FOUNDATION SPECIFICATIONS

- POURED CONCRETE SHALL DEVELOP 3,000 PSI COMPRESSIVE STRENGTH @ 28 DAYS.
- CONCRETE SHALL HAVE A MAXIMUM SLUM OF 5 (FIVE) INCHES.
- REINFORCING SHALL BE INTERMEDIATE GRADE DEFORMED BARS CONFORMING TO SPECIFICATION ASTM A615-40.
- FILL MATERIAL SHALL BE COMPRISED OF 3 MAXIMUM LIFTS: FILL MATERIAL SHALL BE 6" LOOSE, HAVING A MAXIMUM PI OF 12.
- FILL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE.
- CUT BEAM TRENCHES AFTER SITE HAS BEEN COMPACTED.
- CUT PLUMBING TRENCHES BEFORE BEAM TRENCHES HAVE BEEN CUT.
- PLUMBER TO SLEEVE ALL PIPES PASSING THRU PERIMETER AN INTERIOR BEAMS.
- ALL PLUMBING SHALL BE BEDDED IN 6" OF CLEAN SAND JETTED IN PLACE.
- AFTER PIPE PLACEMENT, FILL PLUMBING DITCHES WITH CLEAN SAND TO 6" ABOVE TOP OF PIPE, JETTED IN PLACE.
- HAND COMPACT, SELECT FILL TO 95% PROCTOR, TO BRING TRENCH FIL TO FINISHED LEVEL.
- PROVIDE A 1 1/2" MINIMUM CLEAR COVER ON BEAM STEEL AND A 1 1/2" CLEAR COVER ON ALL SLAB STEEL. PROVIDE A 1 1/2" BRICK LIFTERS OR OTHER SUITABLE SUPPORTS TO MAINTAIN STEEL BEAMS IN PLACE. PROVIDE A MINIMUM OF A 3" PLASTIC SUPPORT CHAIRS @ REBAR SLAB MESH IN THE POSITIONS CALLED FOR ON PLANS AND SPECIFICATIONS.
- MEMBRANE WATERPROOFING SHALL BE 6 ML POLYETHYLENE IN PLACE, UNLESS SHOWN OTHERWISE ON THE PLANS OF DETAILS.
- THE BUILDING AREA SHALL BE SCARIFIED A MINIMUM OF 6" TO REMOVE ALL DEBRIS AND ORGANIC MATERIAL PRIOR TO CONSTRUCTION.
- PROVIDE A MINIMUM OF 30" SPLICE FOR ALL BEAMS AND SLAB STEEL. RUN STEEL @ FULL STOCK LENGTH. HOOK ALL BEAM STEEL @ DISCONTINUOUS ENDS W/A 90 DEGREES HOOK 6" LONG (TOP BARS ONLY) STAGGER TOP & BOTTOM BEAM SPLICES.
- FABRICATION OF STEEL SHALL BE IN ACCORDANCE W / THE ACI STANDARD BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-71), AND THE CITY OF BROWNSVILLE, TEXAS, BUILDING CODE 1313.
- AT ALL BEAM INTERSECTIONS LET DEEPER DEPTH BEAM CARRY THROUGH.
- ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE W/ THE LATEST ALSO SPECIFICATIONS FOR FABRICATION AND ERECTION OF STEEL FOR BUILDING.
- ENGINEER MUST INSPECT SITE PREPARATION PRIOR TO ADDING FILL MATERIAL.
- ENGINEER MUST INSPECT SOIL COMPACTION OF EACH LIFT, AND TESTING LAB SHALL VERIFY DENSITIES OF COMPACTED FILL.
- ENGINEER MUST INSPECT PLACEMENT OF ALL STEEL AND VAPOR BARRIER PRIOR TO POUR.
- ALL ROUGH - IN PLUMBING LINES SHALL BE ROUTED BELOW BEAM LINE IF POSSIBLE.

FOUNDATION PLAN

General Notes

- 006 PLASTIC MEMBRANE ON COMPACTED SELECTED FILL
- #3 BAR @ 12" O.C. E. W. STAGGERED
- 4" CONCRETE SLAB

No.	Revision/Issue	Date
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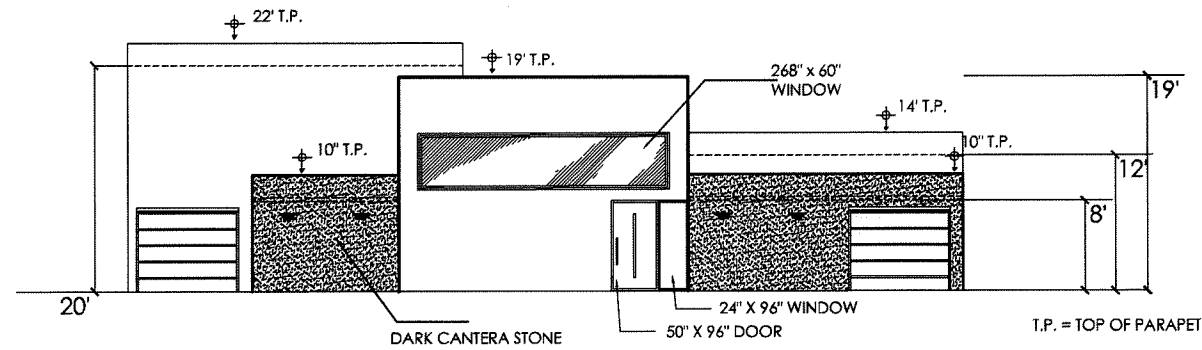
PROJECT

FR 504 ZAPATA

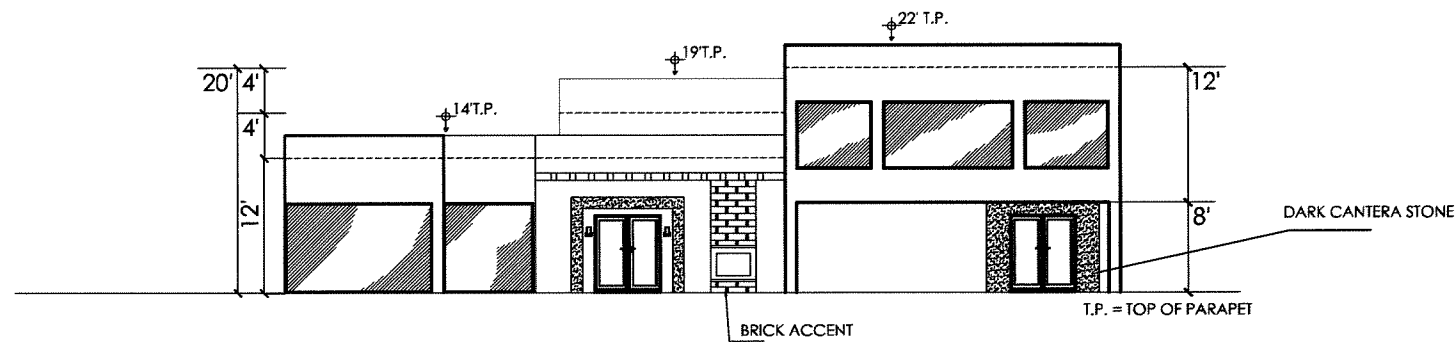
LOCATION

504 ZAPATA AVENUE
RANCHO VIEJO,
BROWNSVILLE, TX

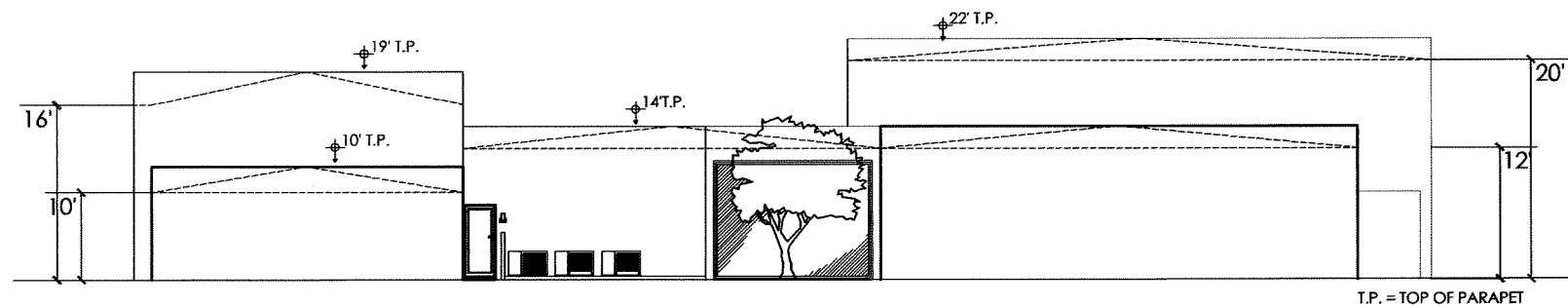
DATE: 1/7/2017	SHEET No:
SCALE: 1/16"=1'0"	6
DRAWN BY: T.R.	



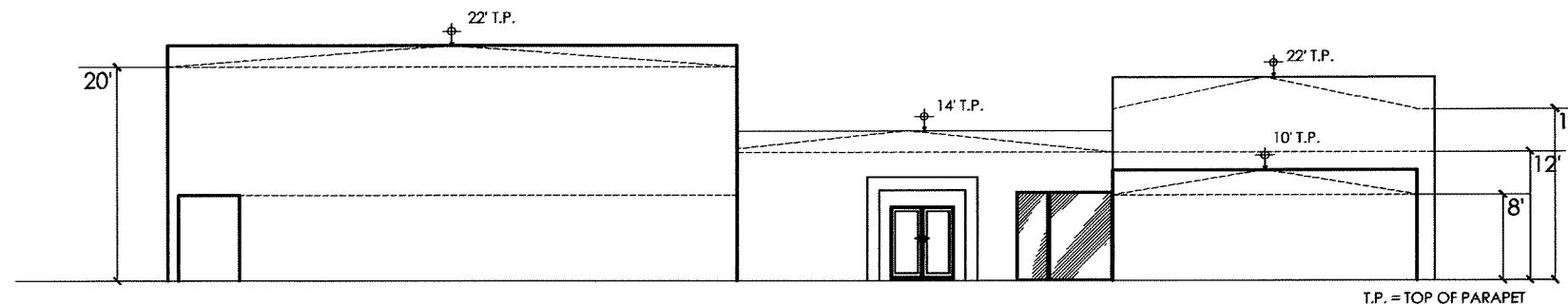
SOUTH (FRONT) ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

ELEVATION PLAN

General Notes

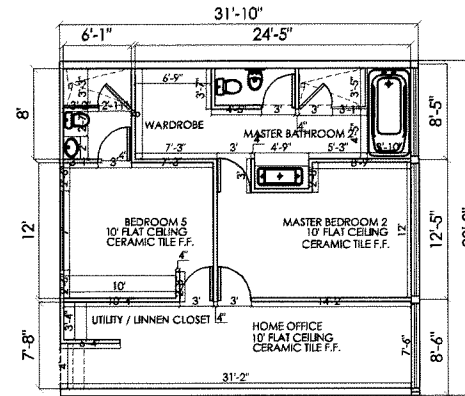
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PROJECT
FR 504 ZAPATA

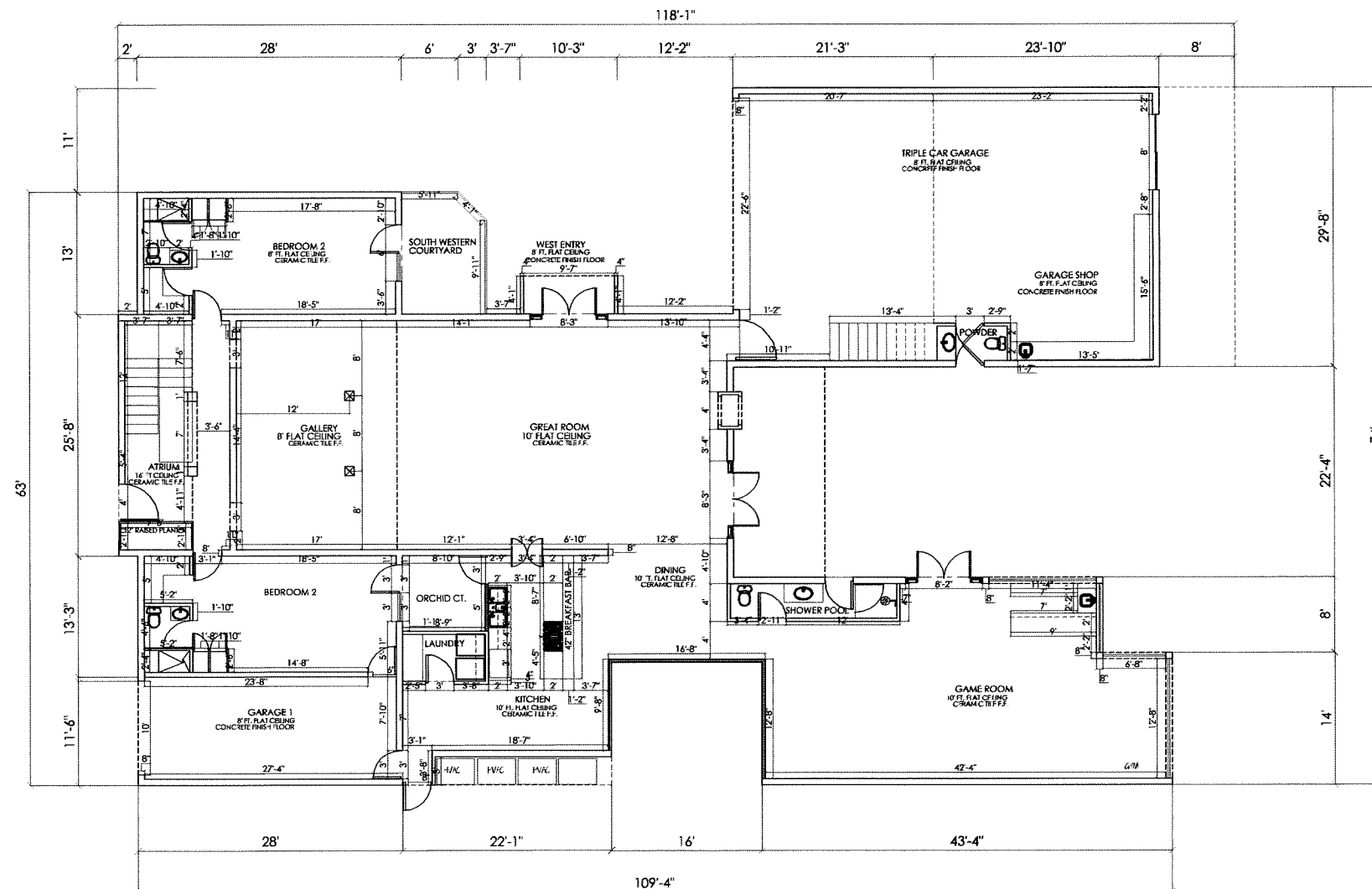
LOCATION
504 ZAPATA AVENUE
RANCHO VIEJO,
BROWNSVILLE, TX

DATE: 1/7/2017
SCALE: 1/16"=1'0"
DRAWN BY: T.R.

SHEET No:
3



AREA ABOVE GARAGE
Area=944.42 SQ. FT.



FIRST FLOOR
A=6237.07 SQ FT

FLOOR PLAN

General Notes

No.	Revision/Issue	Date

PROJECT
FR 504 ZAPATA

LOCATION
504 ZAPATA AVENUE
RANCHO VIEJO,
BROWNSVILLE, TX

DATE: 1/7/2017	SHEET No:
SCALE: 1/16"=1'0"	2
DRAWN BY: T.R.	