



NOTICE OF A PUBLIC MEETING
TOWN OF RANCHO VIEJO
STRATEGIC PLANNING COMMITTEE
OCTOBER 11, 2016
4:30 P.M.

NOTICE is hereby given of a MEETING of the STRATEGIC PLANNING COMMITTEE of the TOWN OF RANCHO VIEJO, TEXAS, to be held on Tuesday, October 11, 2016, at 4:30 P.M., in the TOWN MUNICIPAL OFFICE, 3301 CARMEN AVENUE, RANCHO VIEJO, TEXAS to consider the following items:

1. Review "Plan for Replat" Request by Mr. Manuel J. Montemayor, representative for Mr. Pedro Martinez, Brosatiah Investment Group, LLC, owner of Lots 1, 2, 3, 4, 5 and 6 Block 9, Las Haciendas Subdivision, Rancho Viejo, Texas 78575; to obtain recommendation to the Planning and Zoning Commission, to replat into two lots
2. Adjourn


Fred Blanco, Town Administrator

In the spirit of full disclosure as advocated by the Texas Open Meetings Act, the Town of Rancho Viejo posts this advisory to report that a quorum of the Town of Rancho Viejo Board of Aldermen may attend this meeting of the Strategic Planning Committee on 10/11/2016 at 4:30 P.M. at Town Hall. The Board of Aldermen is not responsible for this meeting, as the Strategic Planning Committee is a purely advisory body. No deliberation of Town business, except as may be incidental to the committee meeting, or action on Town business will take place by or among the Aldermen.

MONTEMAYOR, HANSEN, GARCIA
VILLAFRANCO & ASSOCIATES
ENGINEERS & SURVEYORS
6491 Paredes Line Road
Brownsville, Texas 78520
Bro. (956) 546-0671
Fax # (956) 541-8606

FRED BLANCO,
TOWN ADMINISTRATOR
TOWN OF RANCHO VIEJO, TEXAS

SEPTEMBER 20, 2016

RE: Proposed "LAS HACIENDAS DE PEDRO MARTINEZ AT RANCHO VIEJO
SUBDIVISION "


Dear Mr. Blanco,

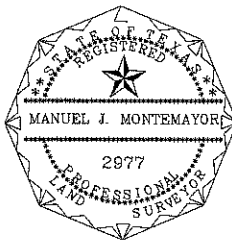
We are requesting that "LAS HACIENDAS DE PEDRO MARTINEZ AT RANCHO VIEJO
SUBDIVISION", being an amended plat of Lots 1, 2, 3, 4, 5, and 6, Las Haciendas at Rancho Viejo
Subdivision, Section 1, of Cameron County, Texas be considered for approval. Please place us at your
earliest possible meeting.

The owner on record for this property is Brosatiah Investment Group, LLC, located on 30
Providence, Suite 5B, Brownsville, TX 78521, and phone number (832) 727-7711. The present existing
6 lots are zoned commercial.

This is a proposed 2 lot commercial subdivision fronting on existing Olmito Cavazos Road, an
asphalt road. Water and sewer service will be provided by the Valley Municipal Utility District No 2.
Solid waste service will be available when Building Permit is obtained. Electricity will be provided by
AEP/Magic Valley Elect Co-Op, and there will be no deed restrictions on this property.

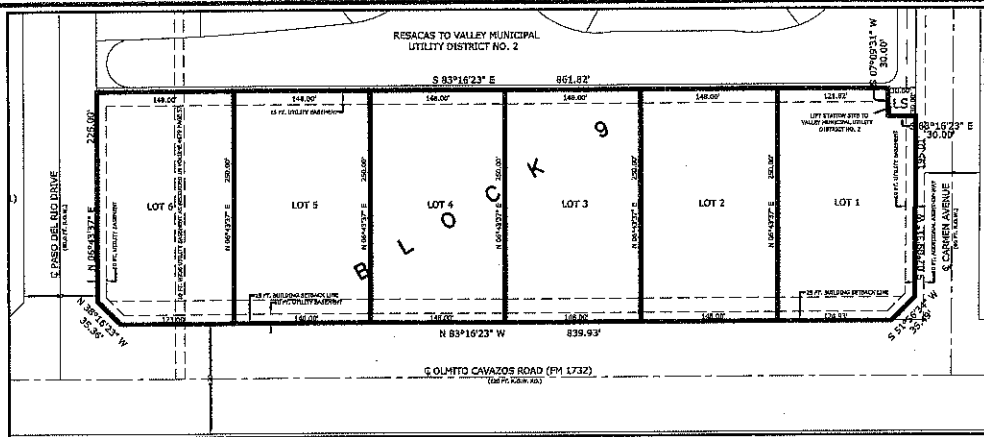
\$75.00 (application fee) has been submitted.


Manuel J. Montemayor
Registered Public Surveyor # 2977
Registered Professional Engineer # 34325
9/20/16

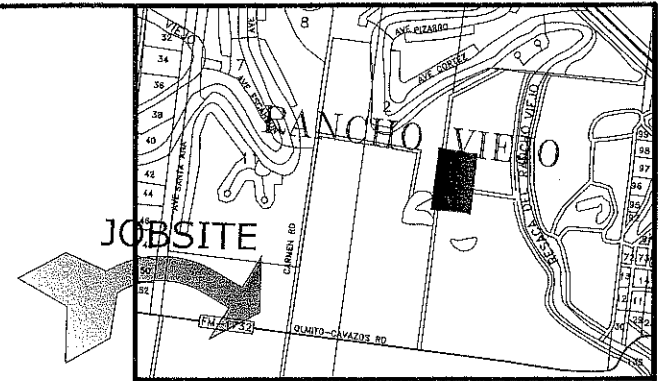


Maneul J. Montemayor
President

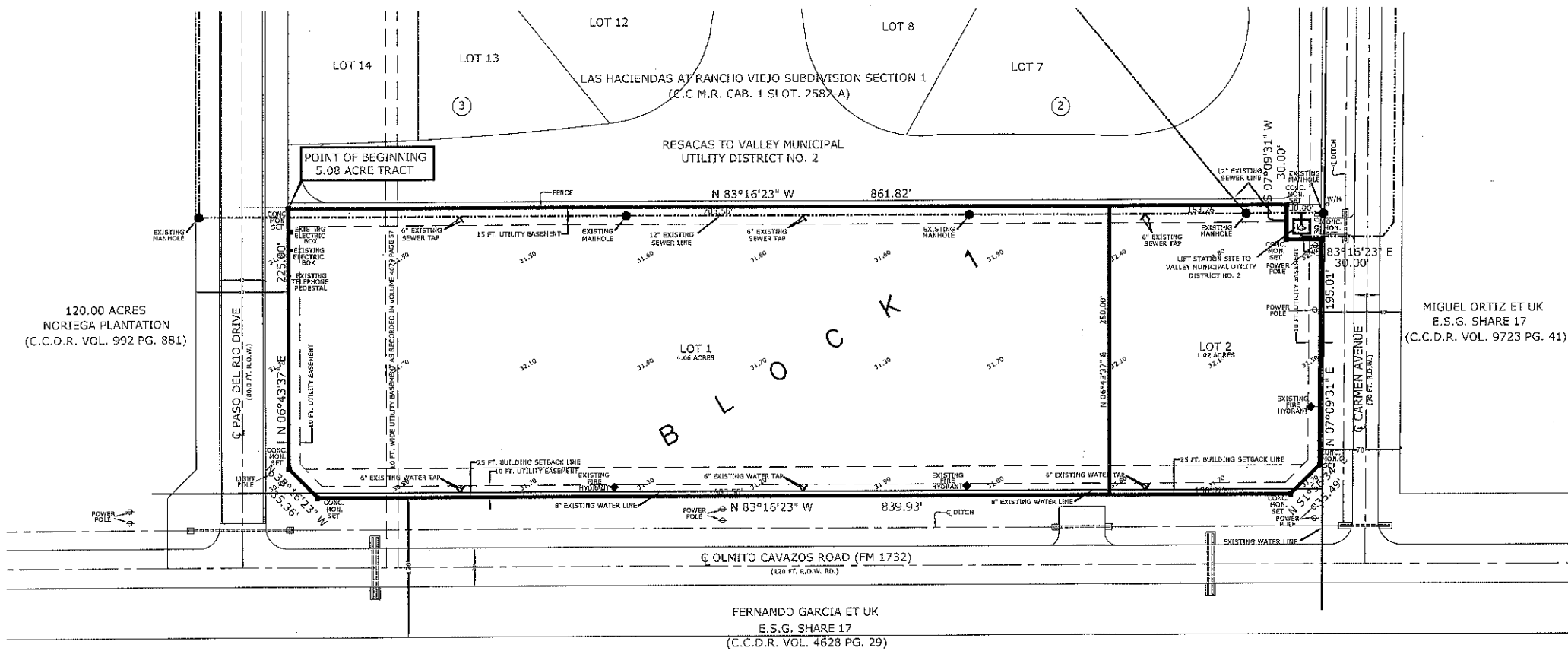
Juan Carlos Ruiz
Office Mngr.



VACATING PLAT
SCALE: 1"=100.0'



VICINITY MAP
SCALE: 1"=2000.0'



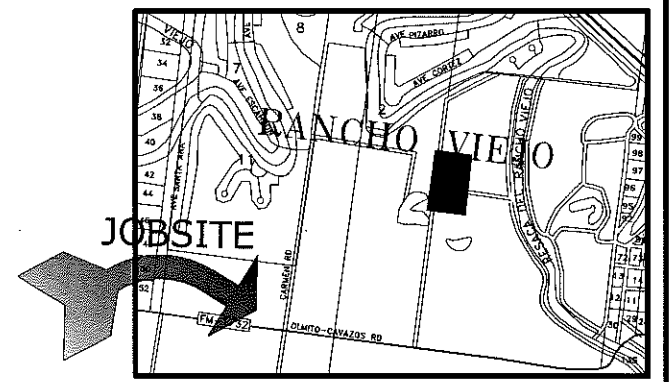
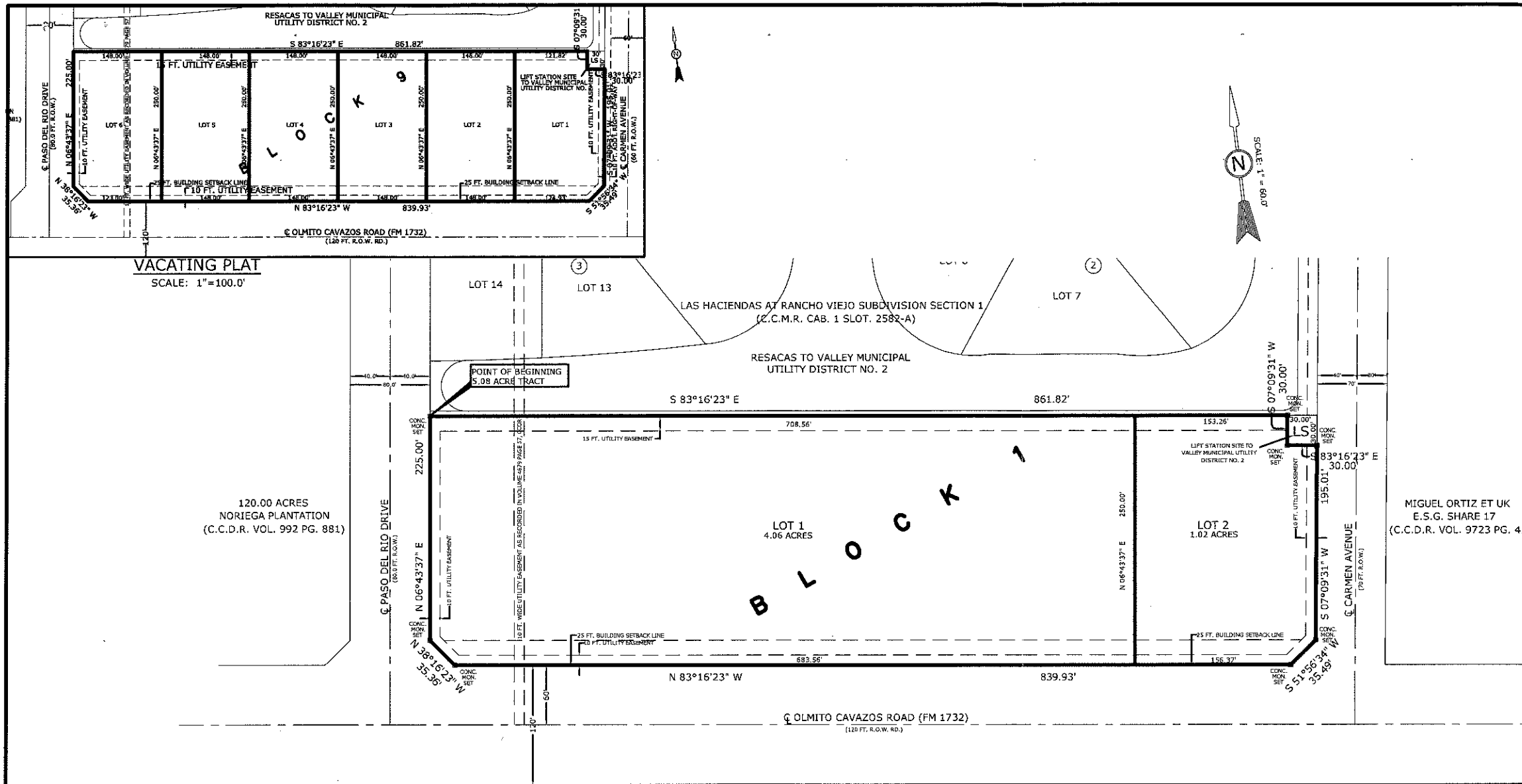
PRELIMINARY PLAT
LAS HACIENDAS DE PEDRO MARTINEZ
AT RANCHO VIEJO SUBDIVISION
BEING AN
AMENDED PLAT
OF
LOTS 1,2,3,4,5 & 6 LAS HACIENDAS AT
RANCHO VIEJO SUBDIVISION SECTION 1
CABINET 1, SLOT 2582-A, MAP RECORDS
CAMERON COUNTY, TEXAS

OWNER: PEDRO MARTINEZ
3312 LAURA KOPPE DR
HOUSTON, TEXAS 77093
(832) 727-7711

Manuel J. Montemayor
Manuel J. Montemayor
1/9/16



MONTEMAYOR - HANSEN GARCIA - VILLAFRANCO & ASSOCIATES ENGINEERS • SURVEYORS • PLANNERS 6491 Paredes Line Road, Brownsville, TX 78526 Office: (956) 546-0671 Fax: (956) 541-8606 mjmonte6491@gmail.com www.montemayorengineering.com	
Drawn by: JORGE DE LA CRUZ Checked by: J.C. Ruiz Approved by: M.J. Montemayor Project No. ME - 23939	Scale: 1" = 60.0' Date: 09/07/2016 Rev. Date: Firm # 13652



METES AND BOUNDS

BEING 5.08 ACRES OF LAND COMPRISED OF LOTS 1, 2, 3, 4, 5 & 6, BLOCK 9, LAS HACIENDAS AT RANCHO VIEJO SUBDIVISION SECTION 1, THEREFORE RECORDED IN CABINET 1, PAGE 2582-A OF CAMERON COUNTY MAP RECORDS, CAMERON COUNTY, TEXAS, HEREIN DEFINITELY DESCRIBED BY METES & BOUNDS AS FOLLOWS:

BEGINNING, AT A CONCRETE MONUMENT SET ON THE NORTHWEST CORNER OF SAID LOT 6, BEING ALSO THE EAST RIGHT-OF-WAY LINE OF PASO DEL RIO DRIVE, FOR THE NORTHWEST CORNER AND POINT OF BEGINNING OF TRACT HEREIN DESCRIBED;

THENCE, ALONG THE NORTH LINE OF SAID LOTS 1, 2, 3, 4, 5, AND 6, BLOCK 9, SOUTH 83 DEGREES 16 MINUTES 23 SECONDS EAST, AT A DISTANCE OF 861.82 FEET TO A CONCRETE MONUMENT SET ON THE NORTHEASTERLY CORNER OF TRACT HEREIN DESCRIBED;

THENCE, PARALLEL TO THE EAST LINE OF SAID LOT 1, SOUTH 07 DEGREES 09 MINUTES 31 SECONDS WEST, AT A DISTANCE OF 30.00 FEET TO A CONCRETE MONUMENT SET, FOR A CORNER OF TRACT HEREIN DESCRIBED.

THENCE, PARALLEL TO THE NORTH LINE OF SAID LOT 1, SOUTH 83 DEGREES 16 MINUTES 23 SECONDS EAST, AT A DISTANCE OF 30.00 FEET TO A CONCRETE MONUMENT SET ON THE EAST LINE OF SAID LOT 1, BEING ALSO THE WEST RIGHT-OF-WAY LINE OF CARMEN AVENUE, FOR A CORNER OF TRACT HEREIN DESCRIBED.

THENCE, ALONG THE EAST LINE OF SAID LOT 1, BEING ALSO THE WEST RIGHT-OF-WAY LINE OF SAID CARMEN AVENUE, SOUTH 07 DEGREES 09 MINUTES 31 SECONDS WEST, AT A DISTANCE OF 195.01 FEET TO A CONCRETE MONUMENT SET, FOR A CORNER OF TRACT HEREIN DESCRIBED.

THENCE, SOUTH 51 DEGREES 56 MINUTES 34 SECONDS WEST, AT A DISTANCE OF 35.49 FEET TO A CONCRETE MONUMENT SET ON THE SOUTHEASTERLY CORNER OF SAID LOT 1, BEING ALSO THE NORTH RIGHT-OF-WAY LINE OF SAID OLMITO CAVAZOS ROAD (FM 1732), FOR THE SOUTHEASTERLY CORNER OF TRACT HEREIN DESCRIBED;

THENCE, ALONG THE SOUTH LINE OF SAID LOTS 1, 2, 3, 4, 5, AND 6, BLOCK 9, BEING ALSO THE NORTH RIGHT-OF-WAY LINE OF SAID OLMITO CAVAZOS ROAD, NORTH 83 DEGREES 16 MINUTES 23 SECONDS WEST, AT A DISTANCE OF 861.82 FEET TO A CONCRETE MONUMENT SET ON THE SOUTHWESTERLY CORNER OF SAID LOT 6, FOR THE SOUTHWESTERLY CORNER OF TRACT HEREIN DESCRIBED;

THENCE, NORTH 38 DEGREES 16 MINUTES 23 SECONDS WEST, AT A DISTANCE OF 35.36 FEET TO A CONCRETE MONUMENT SET ON THE WEST LINE OF SAID LOT 6, BEING ALSO THE EAST RIGHT-OF-WAY LINE OF PASO DEL RIO DRIVE, FOR A CORNER OF TRACT HEREIN DESCRIBED.

THENCE, ALONG THE WEST LINE OF SAID LOT 6 AND THE EAST RIGHT-OF-WAY LINE OF PASO DEL RIO DRIVE, NORTH 06 DEGREES 43 MINUTES 37 SECONDS EAST, AT A DISTANCE OF 225.00 FEET TO A POINT OF BEGINNING, CONTAINING 5.08 ACRES OF LAND.

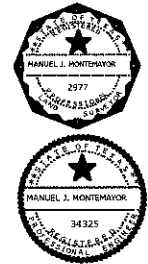
120.00 ACRES
NORIEGA PLANTATION
(C.C.D.R. VOL. 992 PG. 881)

MIGUEL ORTIZ ET UK
E.S.G. SHARE 17
(C.C.D.R. VOL. 9723 PG. 41)

FERNANDO GARCIA ET UK
E.S.G. SHARE 17
(C.C.D.R. VOL. 4628 PG. 29)

CERTIFICATE FOR ENGINEER OR SURVEYOR

I, MANUEL J. MONTEMAYOR, A REGISTERED PROFESSIONAL LAND SURVEYOR AND REGISTERED PROFESSIONAL ENGINEER, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; IT WAS PREPARED FROM AN ACTUAL SURVEY OF PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL BOUNDARY CORNERS, ANGLE POINTS, POINTS OF CURVATURE AND OTHER POINTS OF REFERENCE HAVE BEEN MARKED WITH SUITABLE PERMANENT MONUMENTS OF THE SIZE AND TYPE NOTED; AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST ORIGINAL SURVEY CORNER, AS SHOWN HEREON. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.



MANUEL J. MONTEMAYOR
REGISTERED PROFESSIONAL ENGINEER # 34325
REGISTERED PROFESSIONAL LAND SURVEYOR # 2977

TAX ASSESSOR ACKNOWLEDGMENT

STATE OF TEXAS)
COUNTY OF CAMERON)

THE UNDERSIGNED HEREBY CERTIFIES THAT ALL AD VALOREM TAXES OWED TO ALL THE TAXING UNITS REPRESENTED BY THE UNDERSIGNED ARE CURRENTLY PAID IN FULL FOR THE AREA INSIDE THE BOUNDARIES OF LAS HACIENDAS DE PEDRO MARTINEZ AT RANCHO VIEJO SUBDIVISION, FOR THE YEAR OF 2015.

WITNESS MY HAND ON THIS DAY _____ OF _____ A.D., 2016.

TONY YZAGUIRRE JR. BY: DEPUTY
TAX ASSESSOR-COLLECTOR
CAMERON COUNTY, TEXAS

RECORDING INFORMATION

STATE OF TEXAS)
COUNTY OF CAMERON)

I, SYLVIA GARZA-PEREZ, CLERK OF THE COUNTY COURT IN AND FOR THE SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT DATED THE _____ DAY OF _____, 2016, WITH THE CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORDS IN MY OFFICE THE _____ DAY OF _____, 2016 AT _____ O'CLOCK _____ M., THE MAP RECORDS OF SAID COUNTY CABINET _____ SLOT _____.

WITNESS MY HAND AND SEAL OF THE COUNTY COURT IN AND FOR SAID COUNTY, AT THE OFFICE IN BROWNSVILLE, TEXAS, THE DAY AND YEAR LAST ABOVE WRITTEN.

SYLVIA GARZA-PEREZ, COUNTY CLERK
CAMERON COUNTY, TEXAS

PLANNING AND ZONING COMMISSION APPROVAL

I, OSCAR GONZALEZ, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE TOWN OF RANCHO VIEJO, TEXAS, HEREBY CERTIFY THAT SAID COMMISSION HAS APPROVED THIS 2016, VERSION OF THE FINAL PLAT OF "LAS HACIENDAS DE PEDRO MARTINEZ AT RANCHO VIEJO SUBDIVISION" WITH SAID PLAT CONSISTING OF A TOTAL OF 1 SHEET, OF WHICH THIS IS SHEET NUMBER 1 AND HEREBY DECLARE THAT ANY TAMPERING WITH SAID PLAT AFTER THE AFOREMENTIONED DATE SHALL CAUSE SUCH APPROVAL TO BECOME VOID.

WITNESS MY HAND ON THIS THE _____ DAY OF _____, 2016.

CHAIRMAN OF THE PLANNING AND ZONING COMMISSION DATE

BOARD OF ALDERMAN APPROVAL

THE UNDERSIGNED HEREBY CERTIFIES THAT THE BOARD OF ALDERMAN OF THE TOWN OF RANCHO VIEJO, TEXAS, HAS APPROVED THIS 2016, VERSION OF THE FINAL PLAT OF "LAS HACIENDAS DE PEDRO MARTINEZ AT RANCHO VIEJO SUBDIVISION" WITH SAID PLAT CONSISTING OF A TOTAL OF ONE SHEET AND HEREBY DECLARE THAT ANY TAMPERING WITH SAID PLAT AFTER THE AFOREMENTIONED DATE SHALL CAUSE SUCH APPROVAL TO BECOME VOID.

WITNESS MY HAND THIS THE _____ DATE OF _____ A.D., 2016.

CYNDIE RATHBUN
MAYOR

MUNICIPAL UTILITIES DISTRICT APPROVAL

THIS IS TO CERTIFY THAT ALL ARRANGEMENTS NECESSARY PRIOR TO FINAL PLAT APPROVAL FOR "LAS HACIENDAS DE PEDRO MARTINEZ AT RANCHO VIEJO SUBDIVISION" HAVE BEEN MADE BETWEEN THE TOWN OF RANCHO VIEJO AND VALLEY MUNICIPAL UTILITIES DISTRICT NO. 2 FOR WATER AND SANITARY SEWER SERVICES TO BE PROVIDED IN CONFORMANCE WITH ALL RULES AND POLICIES OF VALLEY MUNICIPAL DISTRICT NO. 2.

SCOTT FRY
GENERAL MANAGER
VALLEY MUNICIPAL DISTRICT NO. 2

FLOOD ZONE

ALL LOTS WITHIN THIS SUBDIVISION LIE IN ZONE "C" (AREAS OF MINIMAL FLOODING), AS PER CONDITIONAL LETTER OF MAP REVISION BASED IN FILL (CLMR-F) DATED FEBRUARY 1, 2005 FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY TO THE HONORABLE PETER SERRALVEDA JR., JUDGE OF CAMERON COUNTY. ALL OTHER AREAS WITHIN THE SUBDIVISION LIE IN ZONE "AO" AS PER THE NATIONAL FLOOD INSURANCE PROGRAM MAP OF COMMUNITY NUMBER 480101, PANEL NUMBER 0250, SUFFIX "B". ANY STRUCTURES ERRECTED ON THE ZONE "C" AREA SHALL BE NOT LESS THAN EIGHTEEN (18) INCHES ABOVE NATURAL GROUND.

FINAL PLAT
LAS HACIENDAS DE PEDRO MARTINEZ
AT RANCHO VIEJO SUBDIVISION
BEING AN
AMENDED PLAT
OF
LOTS 1,2,3,4,5 & 6 LAS HACIENDAS AT
RANCHO VIEJO SUBDIVISION SECTION 1
CABINET 1, SLOT 2582-A, MAP RECORDS
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REVISIONS

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GARCIA - VILLAFRANCO & ASSOCIATES
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mjmonte6491@gmail.com www.montemayorengineering.com

Drawn by: JORGE DE LA CRUZ Scale: 1" = 60.0'
Checked by: J.C. Ruiz Date: 09/07/2016
Approved by: M.J. Montemayor Rev. Date:
Project No. ME-23939 Firm # 13652 Sheet: 1 of 1