



NOTICE OF A PUBLIC MEETING
TOWN OF RANCHO VIEJO
STRATEGIC PLANNING COMMITTEE

MAY 7, 2024
5:30 P.M.

NOTICE is hereby given of a MEETING of the STRATEGIC PLANNING COMMITTEE of the TOWN OF RANCHO VIEJO, TEXAS, to be held on Tuesday, May 7, 2024, at 5:30 P.M., in the TOWN MUNICIPAL OFFICE, 3301 CARMEN AVENUE, RANCHO VIEJO, TEXAS to consider the following items:

1. Discussion/Action on Request for Variance by owners, Fernando Torres, Jr. and Edna Torres, 162 Canteros Drive, Rancho Viejo, TX 78575, Lot 9 Block 2 Las Haciendas at Rancho Viejo Subdivision. To provide for a variance from Chapter 70. Sec. 70-250. Regulations applicable to all districts. (s). Roof Regulations. A surface of all roofs for principal and secondary structures which are exposed to public view shall be of clay tile or other tiles of a ceramic nature, concrete tile, slate, stone, copper or composition. Substantial standing seam metal roofs painted with a neutral color will also be permitted. Flat built-up roofs will be allowed provided that they have a minimum of a one foot parapet wall with adequate drainage (scuppers or drain pipes). On existing buildings a flat roof addition may match an existing flat roofed elevation. Composition roofs must be a 30-year warranty or more. Barn-type wood shakes or better will only be permitted if they meet minimum fire retardant criteria established by the Current Building Code adopted by the Town.; by not having a standing seam metal roof at 162 Canteros Drive. This applies to the existing non-standing seam metal roof installed at their home.

2. Adjourn

Fred Blanco, Town Administrator

In the spirit of full disclosure as advocated by the Texas Open Meetings Act, the Town of Rancho Viejo posts this advisory to report that a quorum of the Town of Rancho Viejo Board of Aldermen may attend this meeting of the Strategic Planning Committee on May 7, 2024, at 5:30 P.M. at Town Hall. The Board of Aldermen is not responsible for this meeting, as the Strategic Planning Committee is a purely advisory body. No deliberation of Town business, except as may be incidental to the committee meeting, or action on Town business will take place by or among the Aldermen.



State of Texas
County of Cameron
Town of Rancho Viejo

I, the undersigned authority, do hereby certify that the above NOTICE OF MEETING of the Strategic Planning Committee of the Town of Rancho Viejo, Texas is a true and correct copy of said NOTICE, which has been posted on the window of the Town of Rancho Viejo Municipal Office, 3301 Carmen Avenue, Rancho Viejo, Texas, a place convenient and readily accessible to the General Public, on May 3, 2024, at 5:00 PM and which will be continuously posted for a period of seventy-two (72) hours prior to the date and time said meeting was convened.

ATTEST:

Fred Blanco, Town Administrator

Chapter 70 – ZONING. ARTICLE III. - ZONING REGULATIONS AND RULES. DIVISION 1. -
GENERALLY

Sec. 70-250. - Regulations applicable to all districts.

(s) *Roof regulations.* A surface of all roofs for principal and secondary structures which are exposed to public view shall be of clay tile or other tiles of a ceramic nature, concrete tile, slate, stone, copper or composition. Substantial standing seam metal roofs painted with a neutral color will also be permitted. Flat built up roofs will be allowed provided that they have a minimum of a one foot parapet wall with adequate drainage (scuppers or drain pipes). On existing buildings a flat roof addition may match an existing flat roofed elevation. Composition roofs must be a 30 year warranty or more. Barn type wood shakes or better will only be permitted if they meet minimum fire retardant criteria established by the Current Building Code adopted by the town.

162 Canteros Drive



To: The Town of Rancho Viejo Variance Committee

A. 162 Canteros, Rancho Viejo TX 78575

Lot 9 Block 2 Las Haciendas Rancho Viejo Subdivision

B. Request for variance: Sec 70-250 S

Subject matter metal roof. The metal roof was installed with minimal sized same color screws on roof. On initial blue prints the home was set to have slate roof, due to the pandemic the roof was on back order for over twelve months and there was no labor to install. House was prepped for slate using 2x6 wooded studs throughout home for weight bearing purposes in addition an ISO water shield was installed to preserve the plywood. I was not told about the roof being an issue until I was asking for my certificate of occupancy. I have obtained a letter from the Las Haciendas HOA that has accepted the roof. In addition I have gone door to door and have asked my neighbors for their approval and acceptance.

C. Ordinance number 70-250 Section S

D. First and foremost I built this home from the ground up, I self-contracted everyone for project to build the home of our dreams in order to save money. Growing up and coming from humble beginnings and I could only dream of living in Rancho Viejo. We have been in living in Rancho Viejo for going on a year, it has been a year of struggle as I had to leave my hospice job to help attend family matters, in which my father became very sick. My family and I love Rancho Viejo, we love the city, people and amenities this community has to offer. We started building during the pandemic with money I had saved. The initial plan was to start with what we had and sell our home that was in Lago Vista. We applied for the permits in November 2021 and started the foundation process in December and laid foundation in January 2022. We didn't start the framing until June 2022 as we sold our house in May 2022. The initial plan was to put slate roof and we put a deposit on the material after framing started. We prepared the home with 2x6 studs across home to prepare for weight and added an ISO water shield as we waited for the material. As we waited for roofing material, I asked Mr. Cannon how we could proceed as the home passed framing, electrical wall up, plumbing wall up, and air condition rough in inspections. The ISO water shield allowed for the construction process to flow as we were able to install sheet rock, tape and float, tile, paint and add cabinetry. During the cabinetry process we gave a deposit to sub in September, the sub stole from us and put us in a financial hardship and he didn't finish the cabinets until March of 2023. In October 2022 we were notified that the roofing material was still on back order and that it was still twelve months out. At this point we had to think of an alternative plan, my wife did not want composite shingles, and we went for a drive in town. I saw home that has the same roof and moved forward in purchasing and failed to ask metal roof limitations for The Town Of Rancho Viejo. The roof installation took about forty-five days between delivery and installation, it was finished in January 2023. If I had known that the roof would be an issue I would have stopped, I will add no one from city inspection stopped or passed by as there were other homes that were being built in area at the same time to bring up issue. I will add that the TEX-Rib roof is structurally sound, features high tensile strength steel, anti-siphoning side flap, class 4 impact rated, windstorm certified, 40 year warranty, and a class a fire rating. The roof has with stood multiple storms that have passed through

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BY:

area. In March 2023 I reached out to Mr. Cannon to ask about the mail box placement, that's when Mr. Cannon noticed the roof and explained the process. Everyone that passes by compliments the roof as it complements the home exceptionally well. All my neighbors and Las Haciendas HOA are welcoming of the roof, and I humbly ask if we can keep it, I know my deadline is coming and I don't have the current resources to change the roof.

Fernando Torres
Edna Torres
(952) 443-5026
(952) 372-6977
Fertorr 7512@gmail.com

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BY: *lf*



162 Causteros

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APR 10 2024
BY: *H*



Las Haciendas Homeowners
Association

P.O. Box 67 Olmito, TX 78575

January 25, 2024

Town of Rancho Viejo
3301 Carmen Ave
Rancho Viejo, Texas 78575

Re: 162 Canteros Dr
Rancho Viejo TX 78575

To whom it may concern,

It has been brought to our attention the issue of the home located at the above address and owned by Mr. & Mrs. Fernando Torres. Specifically the roof material that was used and the aesthetics of such roof. Home architecture and build are control by the Architectural Control Committee of Las Haciendas Homeowners Association. Even though the roof does not assimilate the other homes in the neighborhood, Mr. Torres submitted the plans of the home to the previous Administration and it was approved.

The home located at 162 Canteros Dr. is accepted by the Las Haciendas Homeowners Association and grandfathered "as is". In the event that at sometime in the future the roof becomes damaged and needs replacing, it shall be replaced with similar materials as the other properties in Las Haciendas and in in compliance with the Town of Rancho Viejo.

Sincerely,

Susie Chavez
Administrator



Sample Home

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BY: *IP*



Sample Home

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APR 10 2024

BY:

SITE PLAN GENERAL NOTES:

- A. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING ANY WORK.
- B. GRADE AREAS AROUND NEW BUILDING UNIFORMLY SO AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- C. PROVIDE 4" MINIMUM TOPSOIL INLAND AROUND NEW BUILDING. GRADE UNIFORMLY SO AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- D. THERE SHALL BE 6" DROP FROM THE SLAB FINISH FLOOR ELEVATION TO FINISH GRADE, THEN A 5% SLOPE FOR THE FIRST 10' AND FINALLY A 1% SLOPE TO THE STREET OR REAR YARD.
- E. PROVIDE SWALES AS REQUIRED AND PROVIDE SUFFICIENT SLOPE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.

- 1. VERIFY JOINT LAYOUT FOR SIDEWALKS WITH CONTRACTOR PRIOR TO CONSTRUCTION.
- 2. ALL SITE WORK, INCLUDING LOCATION OF TRASH DUMPSTER, TEMPORARY TOILET FACILITIES, TEMPORARY CONSTRUCTION BARRICADE/FENCING, CONSTRUCTION TRAILER, CLEANING PROCEDURE, GRADING, DRAINAGE, CONFORMANCE TO POLLUTION AND PREVENTION CONTROL, AND TEMPORARY UTILITY FACILITIES, ETC. SHALL BE IN ACCORDANCE WITH THE CITY AS WELL AS SUBDIVISION PROPERTY OWNERS ASSOCIATION GUIDELINES.
- 3. BUILDER AND OWNER SHALL BE RESPONSIBLE FOR ALL TEMPORARY UTILITIES TO THE CONSTRUCTION SITE.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL GRADING ONLY. OWNER SHALL PROVIDE ALL LANDSCAPING, SOD, AND IRRIGATION SYSTEM.

GENERAL NOTES:

ALL STATE AND LOCAL CODES, REGULATIONS, ORDINANCE FOR ALL TRADES SHALL BE CONSIDERED AS PART OF DRAWINGS AND FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE VARIANCES OCCUR.

SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS/DIMENSIONS IN BIDDING ON JOB SITE. NOTIFY THE OWNER/DESIGNER IMMEDIATELY OF ANY DISCREPANCIES BEFORE BEGINNING OR CONTINUING ANY WORK.

SUBCONTRACTORS SHALL CONFORM TO RELATED DRAWINGS AND SPECIFICATIONS MENTION ON DRAWINGS. ALL DEVIATION SHALL BE OWNER APPROVED. THE LACK OF OWNER APPROVAL WILL BE SUFFICIENT TO REFUSE ACCEPTANCE OF THE WORK.

ANY WORK NOT MENTIONED IN THE DRAWINGS AND AS SPECIFIED SHALL BE PERFORMED IN A MANNER DEEMED GOOD PRACTICE OF THE TRADE INVOLVED.

FOLLOW DIMENSIONS INDICATED. DO NOT SCALE.

GENERAL CONTRACTOR TO CONSULT WITH OWNER, PRIOR TO FRKING PROJECT TO VERIFY ALL OF THE OWNERS SPECIAL REQUESTS AT ALL ELEVATIONS.

GENERAL CONTRACTOR TO CONSULT WITH OWNER ON SELECTION OF ALL EXTERIOR LIGHTING FIXTURES.

ALL DOORS AND WINDOWS TO BE SELECTED BY OWNER AT NO ADDITIONAL COST TO THEM - CONTRACTOR TO INCLUDE THEM IN HIS/HER PROPOSAL.

1'-4" ROOF OVERHANG SOFFITS TO BE SOFFIT GRADE PAINTED WOOD WITH NECESSARY SOFFIT / ATTIC VENTS.

PROVIDE ADEQUATE RIDGE VENTS AND ONE (1) ELECTRIC OPERATED RIDGE VENT TO BE PLACED AT BACK SIDE OF HIGHEST RIDGE.

1. ALL CONCRETE IS TO BE POURED MONOLITHICALLY UNLESS OTHER WISE NOTED.

2. GRADE BEAM DIMENSIONS ARE THE MINIMUM SIZE REQUIRED AND MAY NOT BE CHANGED IN DIMENSIONS UNLESS APPROVED BY THE ENGINEER.

3. ALL CONCRETE WILL BE CONSOLIDATED AROUND ALL REINFORCING STEEL WITH THE USE OF MECHANICAL VIBRATION.

4. ALL REINFORCING STEEL MUST HAVE A MINIMUM OF 2" CONCRETE COVERAGE, AND IT MUST BE LOCATED AS SHOWN IN SECTION DETAILS.

5. ALL ORGANIC MATERIAL ON/OR NEAR GROUND SURFACE SHALL BE REMOVED FROM THE PROPOSED SLAB AREA (MINIMUM 4" DEEP REMOVAL).

6. SELECT FILL SAND THAT IS USED FOR PLAN GRADE MUST BE PLACED AND COMPACTED IN LIFTS NOT MORE THAN 6", AND COMPACTED FILL SHOULD HAVE A PLASTICITY INDEX EQUALS TO OR LESS THAN TWENTY (22) WITH COMPACTING TO BE AT 95% OF STANDARD PROCTOR DENSITY.

7. GRADE BEAMS MUST PENETRATE INTO VIRGIN UNDISTURBED GROUND A MINIMUM OF 12".

8. ALL SOILS MUST BE TREATED FOR TERMITE EXTERMINATION BEFORE POURING ANY CONCRETE (ALSO RECOMMENDED DRIVEWAY SOL).

GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGNED BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECTS SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

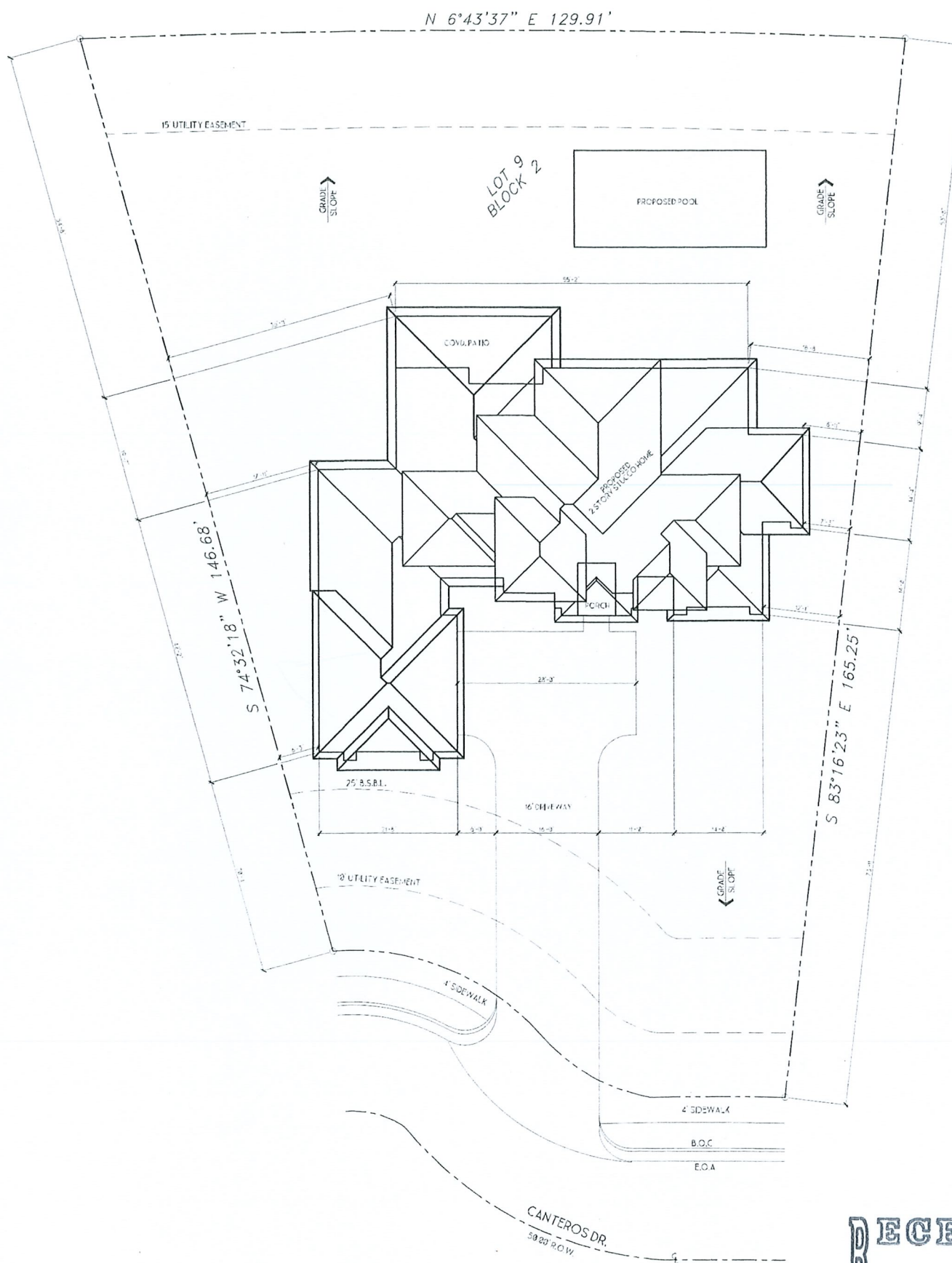
SITE PLAN KEYED NOTES:

- ① ROUTE DOMESTIC WATER LINE AS SHOWN ON PLAN PER OWNERS REQUEST.
- ② EXTEND AND CONNECT TO NEW WATER METER.
- ③ ROUTE SANITARY SEWER LINE AS SHOWN ON PLAN PER OWNERS REQUEST.
- ④ EXTEND AND CONNECT TO MAIN SANITARY SEWER LINE.
- ⑤ NEW WOOD FENCE BY OWNER.
- ⑥ COORDINATE WITH OWNER FOR LOCATION OF ACCUS.

NOTES:

- OWNER, BUILDER AND SURVEYOR TO APPROVE LOCATION OF HOUSE ON LOT AND TO VERIFY ALL EASEMENTS AND BUILDING LINES PRIOR TO START OF CONSTRUCTION. DESIGNER SHALL BE NOTIFIED OF ANY DEVIATION FROM THIS SITE PLAN.

- DRAINAGE DESIGN IS BEYOND THE SCOPE OF WORK OF THIS FIRM. GREAT CARE SHOULD BE TAKEN IN EVALUATING THE DRAINAGE REQUIREMENTS.



DRIVEWAY AND SIDEWALK NOTES:

- 1- DRIVEWAY SHALL BE 4" THICK FOR SINGLE FAMILY USE AND 6" THICK FOR ALL OTHERS (I.E. COMMERCIAL, INDUSTRIAL, ETC.)
- 2- DRIVEWAYS AND SIDEWALKS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE AND INCLUDE 5-1/2" SACKS OF CEMENT PER CUBIC YARD OF CONCRETE
- 3- 6X6-W 2.9 X 9 WELDED WIRE FABRIC MAY BE USED IN LIEU OF THE REINFORCING STEEL.

SITE PLAN SCALE: 1/8"

RECEIVED
APR 10 2024

BY: *[Signature]*



LUCAS DESIGN GROUP
2815 CENTRAL BLVD.
BROWNSVILLE TX, 77820
SUITE A
OFFICE: 956-525-7003
LUCAS@LDGPLANS.COM
LDGPLANS.COM

LIABILITY DISCLAIMER
PLACE-BIT OF RESIDENCE ON SITE PLAN IS BASED ON OWNERS DESIRED LOCATION AND GOVERNING AUTHORITY'S REGULATIONS. EVERY PROPERTY HAS RESIDENT RISKS DUE TO LOCATION, ACTS OF GOD, ETC. WORK MAY CAUSE DAMAGE TO STRUCTURES BUILT ON SAID PROPERTY AND SOOKY INJURY AND/OR DEATH TO THE OCCUPANTS OF SAID STRUCTURES. LUCAS DESIGN GROUP DOES NOT IN ANY WAY GUARANTEE THE SUITABILITY OF ANY AREA FOR CONSTRUCTION OR HABITATION, AND WILL NOT BE RESPONSIBLE FOR DAMAGES BASED ON THE LOCATION OF SAID STRUCTURE. GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND CODE REQUIREMENTS. INSURE COMPLIANCE OF PROPOSED STRUCTURE WITH SAID CONDITIONS. VERIFY ALL DIMENSIONS AND TECHNIQUES IN CONSTRUCTION DOCUMENTS AND NOTIFY LDG OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

AREA TABULATION

LOWER LIVING AREA	2297.76
UPPER LIVING AREA	988.72
TOTAL LIVING AREA	3286.48
GARAGE	492.51
FRONT ENTRY	48.05
COVERED PATIO	225.37
OUTDOOR KITCHEN	N/A
BALCONY	N/A
PALAPA	N/A
POOL HOUSE AREA	N/A
TOTAL AREA	3972.43

PROJECT INFORMATION
FERNANDO SOLIS
LOT 9 BLOCK 2
LAS HACIENDAS
RANCHO SUBD.
CAMERON COUNTY, TX

OWNERSHIP/COPYRIGHT
THE DRAWINGS, PLANS AND SPECIFICATIONS SHALL REMAIN THE EXCLUSIVE PROPERTY OF LUCAS DESIGN GROUP, AND CLIENT/BUILDER RIGHT TO USE SAME IS CONDITIONED AND LIMITED TO A ONE-TIME USE TO CONSTRUCT THE ABOVE DESCRIBED AND LOCATED PROJECT. THE USE OR REPRODUCTION OF SUCH DRAWINGS OR PLANS AND SPECIFICATIONS IN CONNECTION WITH ANY OTHER CONSTRUCTION OR PURPOSE IS PROHIBITED. THE FOREGOING SHALL APPLY REGARDLESS OF WHETHER THE ABOVE DESCRIBED PROJECT IS CONSTRUCTED.

DESIGNED RLJR	ISSUE DATE
DRAFTED JG	08-19-2021

DRAWING NAME
SITE PLAN

01 10

PROJECT #



LUCAS DESIGN GROUP

2815 CENTRAL BLVD.
BROWNSVILLE TX, 77820
SUITE A

OFFICE: 956-525-7003

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DESIGNED RLJR	ISSUE DATE
DRAFTED JG	08-19-2021

DRAWING NAME

FOUNDATION

02 10

PROJECT #

GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGNED BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES.

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1-4" ROOF OVERHANG SOFFITS TO BE SOFFIT GRADE PAINTED WOOD WITH NECESSARY SOFFIT / ATTIC VENTS.

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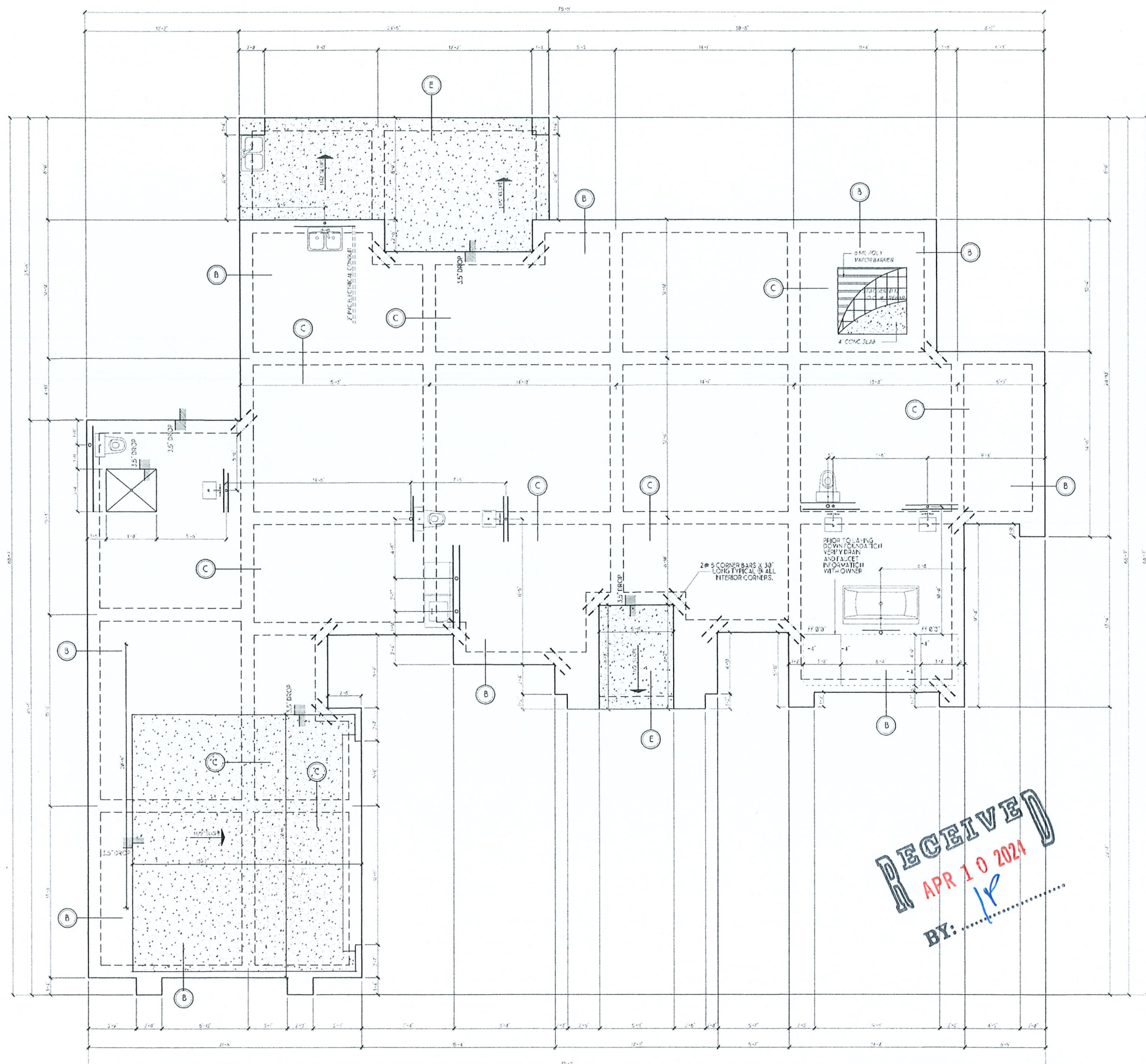
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DRIVEWAY AND SIDEWALK NOTES:

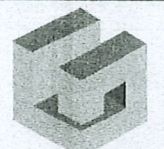
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RECEIVED
APR 10 2021
BY: LP

FOUNDATION SCALE 1/4"=1'-0"

RECEIVED
APR 10 2024
 BY: *[Signature]*



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AREA TABULATION	
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UPPER LIVING AREA	908.72
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POOL HOUSE AREA	N/A

TOTAL AREA	3972.43
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 LOT 9 BLOCK 2
 LAS HACIENDAS
 RANCHO SUBD.
 CAMERON COUNTY, TX

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DESIGNED RLJR	ISSUE DATE
DRAFTED JG	08-19-2021

DRAWING NAME

WALL SECTIONS

03 10

PROJECT #

1 R602.10.2 BRACED WALL PANEL CONSTRUCTION METHODS
 *NOMINAL HXCI-BY-4-INCH CONTINUOUS DIAGONAL BRACES LET IN TO THE TOP & THE INTERVENING STUDS OR APPROVED METAL STRAP DEVICES INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. THE LET-IN BRACING SHALL BE PLACED AT AN ANGLE NOT MORE THAN 60° OR LESS THAN 45° FROM THE HORIZONTAL FOR MAX. 16" STUD SPACING.
 *WOOD STRUCTURAL PANEL SHEATHING WITH A THICKNESS NOT LESS THAN 3/8" FOR 16" STUD SPACING (6d COMMON) AND NOT LESS THAN 7/16" FOR 16" OR 24" STUD SPACING (8d COMMON). WOOD STRUCTURAL PANELS SHALL BE INSTALLED IN ACCORDANCE WITH TABLE R602.3(3) TO RESIST WIND PRESSURES.
 *PARTICLEBOARD WALL SHEATHING PANELS INSTALLED IN ACCORDANCE WITH TABLE R602.3(4) FOR ALLOWABLE SPANS.
 *FOR ALTERNATE BRACE WALL PANELS REFER TO IRC SECTION 602.10.3.2

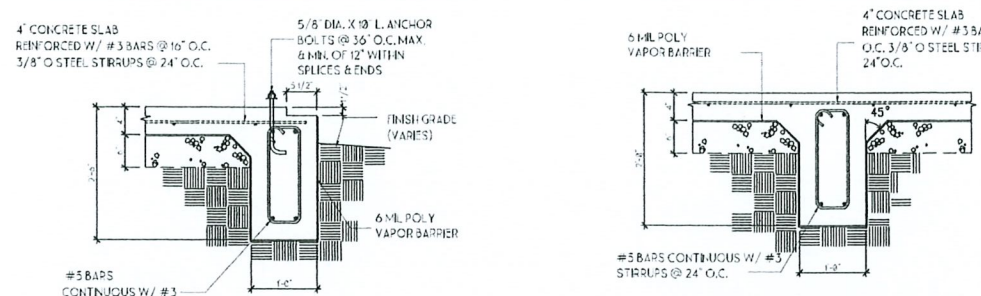
2 R602.10.6.2 ALTERNATIVE BRACED WALL PANEL ADJACENT TO A DOOR OR WINDOW OPENING
 *ALTERNATIVE BRACED WALL PANELS CONSTRUCTED IN ACCORDANCE WITH ONE OF THE FOLLOWING PROVISIONS ARE ALSO PERMITTED TO REPLACE EACH 4 FEET OF BRACED WALL PANEL AS REQUIRED FOR USE ADJACENT TO A WINDOW OR DOOR OPENING WITH A FULL-LENGTH HEADER. *IN ONE-STORY BUILDINGS, EACH PANEL SHALL HAVE A LENGTH OF NOT LESS THAN 16" AND A HEIGHT OF NOT MORE THAN 10 FEET. EACH PANEL SHALL BE SHEATHED ON ONE FACE WITH A SINGLE LAYER OF 3/8" MINIMUM THICKNESS WOOD STRUCTURAL PANEL SHEATHING NAILLED WITH 8d COMMON OR GALVANIZED BOX NAILS IN ACCORDANCE WITH FIGURE R602.10.6.2

3 WALL BRACING TABLE R602.10.1

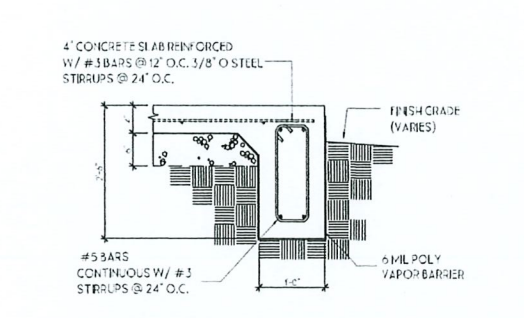
CONDITION	AMOUNT OF BRACING
ONE-STORY TOP OF TWO OR THREE STORY	LOCATED IN ACCORDANCE WITH SEC. R602.10 & AT LEAST EVERY 25 FEET O.C. BUT NOT LESS THAN 16" OF BRACED WALL LINE FOR METHODS 2 THROUGH 8.
FIRST STORY OF TWO STORY SECOND STORY OF THREE STORY	LOCATED IN ACCORDANCE WITH SEC. R602.10 & AT LEAST EVERY 25 FEET O.C. BUT NOT LESS THAN 16" AT OF BRACED WALL LINE FOR METHODS 3 OR 25 AT OF BRACED WALL LINE FOR METHODS 2, 4, 5, 7 OR 8.
FIRST STORY OF THREE STORY	LOCATED IN ACCORDANCE WITH SEC. R602.10 & AT LEAST EVERY 25 FEET O.C. BUT NOT LESS THAN 25" OF BRACED WALL LINE FOR METHODS 3 OR 35" OF BRACED WALL LINE FOR METHODS 2, 4, 5, 7 OR 8.

4 GENERAL NOTES FOR 2018 IRC AND 2018 IECC

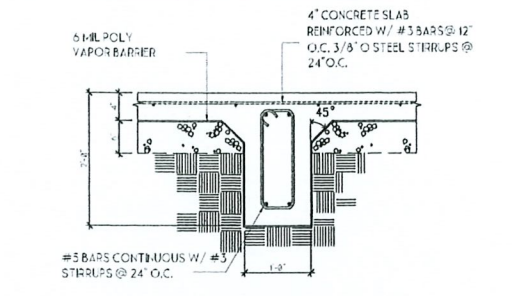
SECTION R317 PROTECTION OF WOOD & WOOD-BASED PRODUCTS AGAINST DECAY. PROTECTION OF WOOD & WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN LOCATIONS LISTED PER R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT PRESERVATIVE-TREATED.
 R317.3 FASTENERS, INCLUDING NUTS AND WASHERS, AND CONNECTORS IN CONTACT WITH PRESERVATIVE-TREATED WOOD AND FIRE-RETARDANT-TREATED WOOD SHALL BE IN ACCORDANCE WITH THIS SECTION. THE COATING WEIGHTS FOR ZINC-COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A153. STAINLESS STEEL DRIVEN FASTENERS SHALL BE IN ACCORDANCE WITH THE MATERIAL REQUIREMENTS OF ASTM F1667.
 R602.3 EXTERIOR WALLS OF WOOD-FRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3(1) AND R602.3(2). COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLE R602.3(1) THROUGH R602.3(4). WALL SHEATHING SHALL BE FASTENED DIRECTLY TO FRAMING MEMBERS AND, WHERE PLACED ON THE EXTERIOR SIDE OF AN EXTERIOR WALL, SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2(2) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(5) AND SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3(3). WALL SHEATHING USED ONLY FOR EXTERIOR WALL COVERING PURPOSES SHALL COMPLY WITH SECTION R703.
 R311.7.4 THE WALKLINE ACROSS WINDER TREADS AND LANDINGS SHALL BE CONCENTRIC TO THE TURN AND PARALLEL TO THE DIRECTION OF TRAVEL ENTERING AND EXITING THE TURN. THE WALKLINE SHALL BE LOCATED 12 INCHES (305MM) FROM THE INSIDE OF THE TURN. THE 12 INCH (305MM) DIMENSIONS SHALL BE MEASURED FROM THE WIDEST POINT OF THE CLEAR STAIR WIDTH AT THE WALKING SURFACE, WHERE WINDERS ARE ADJACENT WITHIN A FLIGHT, THE POINT OF THE WIDEST CLEAR STAIR WIDTH OF THE ADJACENT WINDERS SHALL BE USED.
 R311.7.7 STAIRWAY WALKING SURFACE-THE WALKING SURFACE OF TREADS AND LANDINGS OF STAIRWAYS SHALL BE SLOPED NOT STEEPER THAN ONE UNIT VERTICAL IN 48 INCHES HORIZONTAL (2-PERCENT SLOPE).
 R703.8 ANCHORED STONE AND MASONRY VENEER SHALL BE INSTALLED IN ACCORDANCE TO THIS CHAPTER, TABLE R703.3(1) AND FIGURE R703.8. THESE VENEERS INSTALLED OVER A BACKING OF WOOD OR COLD-FORMED STEEL SHALL BE LIMITED TO THE FIRST STORY ABOVE GRADE PLANE AND SHALL NOT EXCEED 5 INCHES (127MM) IN THICKNESS. SEE SECTION R602.10 FOR WALL BRACING REQUIREMENTS FOR MASONRY VENEER FOR WOOD-FRAMED CONSTRUCTION AND SECTION R603.9.5 FOR WALL BRACING REQUIREMENTS FOR MASONRY VENEER FOR COLD-FORMED STEEL CONSTRUCTION.
 R703.8.5 WEEPHOLES SHALL BE PROVIDED IN THE OUTSIDE WALL OF MASONRY WALLS AT A MAXIMUM SPACING OF 33 INCHES (838MM) ON CENTER. WEEPHOLES SHALL BE NOT LESS THAN 1/2 INCH (12.7MM) IN DIAMETER. WEEPHOLES SHALL BE LOCATED IMMEDIATELY ABOVE THE FLASHING.
 R302.5.2 DUCT PENETRATION. DUCTS IN THE GARAGE & DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. #26 SHEET STEEL OR OTHER APPROVED MATERIAL & SHALL HAVE NO OPENINGS INTO THE GARAGE. GARAGE AS PER SECTION R309.2.
 R314.1 SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217, COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 203A.
 SECTION R315 CARBON MONOXIDE ALARMS. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH WITHIN THE IMMEDIATE VICINITY OF EACH SLEEPING AREA.
 *R303.7 INTERIOR STAIRWAY / ILLUMINATION- INTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE TO ILLUMINATE THE LANDINGS AND TREADS. THE LIGHT SOURCE SHOULD BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS OF NOT LESS THAN 1 FOOT-CANDLE AS MEASURED AT THE CENTER OF TREADS AND LANDINGS. THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL TO CONTROL THE LIGHT SOURCE WHERE THE STAIRWAY HAS SIX OR MORE RISERS.
 *LOCATED AT THE OPENING & RECEPTACLE OUTLET SHALL BE PROVIDED NEAR THE A/C UNIT IN ATTIC PER IRC38, SECTION M1305.
 *ATTIC A/C UNIT- PROVIDE OVERFLOW PAN TO OUT-SIDE ON (52) SORT OF PL WOOD DECKING.
 *ALL APPLIANCES SHALL HAVE 30" OF WORKING SPACE IN FRONT OF THE CONTROL SIDE FOR SERVICE. PER IRC SECTION M1305.



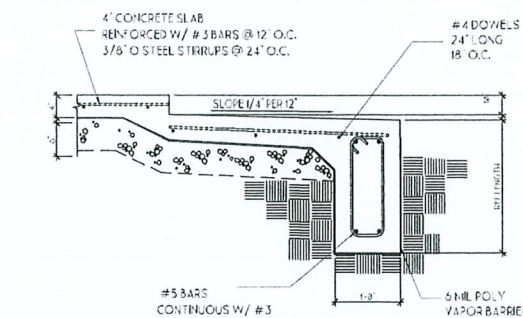
(A) BRICK LEDGE PERIMETER
 3/4" = 1'-0"



(B) STUCCO PERIMETER
 3/4" = 1'-0"



(C) INTERIOR BEAM
 3/4" = 1'-0"



(E) OUTSIDE PORCH
 3/4" = 1'-0"

ALL FRAMING TO COMPLY W/ INTL. RES. CODE 2018 & ANY LOCAL CODE REQ. - VERIFY W/ BLDG SPECS

R301.2.1 DESIGN CRITERIA WIND LIMITATIONS. ALL WIND BRACING WILL COMPLY WITH PRESCRIPTIVE METHODS OR VALID ENGINEERED ALTERNATIVES. ENGINEERED ALTERNATIVES WILL CARRY THE SEAL AND SIGNATURE OF A LICENSED TEXAS PROFESSIONAL ENGINEER AND ALL LIABILITY FOR THE ACCURACY OF ENGINEERED DESIGN SHALL BE THAT OF THE DESIGN ENGINEER. NOTE: IRC WALL BRACING INFORMATION ON THIS PLAN IS PER BUILDER. LUCAS DESIGN GROUP IS NOT RESPONSIBLE FOR WALL BRACING CALCULATIONS AND/OR ANY SPECIFICATIONS.

ALL EXTERIOR FOUNDATIONS ARE PROVIDED BY ENGINEER AND WILL MEET 2018 IRC CODE REQUIREMENTS.

R423.1.6 FOUNDATION ANCHORAGE. WOOD SOLE PLATES AT ALL EXTERIOR WALLS, WOOD SOLE PLATES OF INTERIOR BRACED WALLS & ALL WOOD SOLE PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH ANCHOR BOLTS SPACED AT MAX. 6' O.C. FIGURE R602.3(2).

R323.6 DWELLING/GARAGE FIRE SEPARATION. THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE 302.6. & DOES NOT APPLY TO GARAGE WALLS PERPENDICULAR TO THE ADJACENT DWELLING WALL.

R322.1 FIRE-RESISTANT CONSTRUCTION EXTERIOR WALLS. CONSTRUCTION PROJECTIONS, OPENING & PENETRATIONS OF EXTERIOR WALLS OF DWELLINGS NOT LOCATED ON THE SAME LOT SHALL COMPLY WITH TABLE R302.1 OF MIN. FIRE SEPARATION DISTANCE/PARTING. PROJECTIONS BEYOND THE EXTERIOR WALL SHALL NOT EXTEND OVER THE LOT LINE PER EXCEPTION #3.

R902.1 ROOF CLASSIFICATION ROOF COVERING MATERIALS. ROOFS SHALL BE COVERED WITH MATERIALS AS SET FORTH IN SECTIONS R904 & R925. CLASS A, B OR C ROOFING SHALL BE INSTALLED IN AREAS DESIGNATED BY LAW AS REQUIRING THEIR USE OR WHEN THE EDGE OF THE ROOF IS LESS THAN 3 FT. FROM PROPERTY LINE.

R328.4 HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING. REQUIREMENTS FOR SAFETY GLAZING IN ALL FIXED & OPERABLE PANELS OF SWINGING, SLIDING & FOLD DOORS.

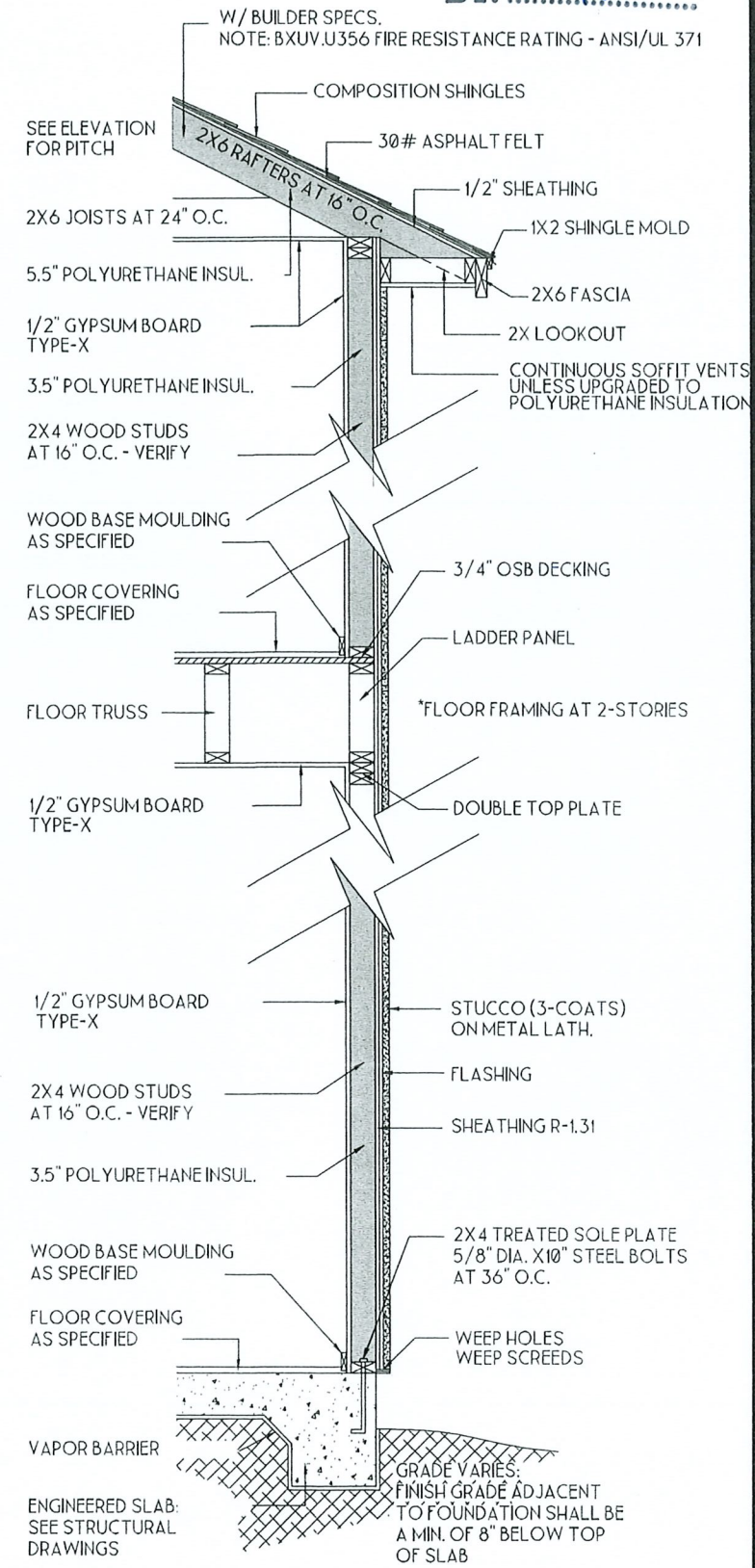
R322.5 DWELLING/GARAGE OPENING PROTECTION. OPENINGS FROM A PRIVATE GARAGE & RESIDENCE SHALL BE EQUIPPED WITH A SOLID DOOR OR ONE-YOUR-COME CORE STEEL DOOR OR 22-MINUTE FIRE-RATED DOOR.

R323.1 LIGHT/VENTILATION & HEATING HABITABLE ROOMS. ALL HABITABLE ROOMS SHALL HAVE A GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA. NATURAL VENTILATION SHALL BE THROUGH AN OPENABLE AREA TO THE OUTDOORS OF MIN. 4" OF THE FLOOR AREA.

NOTE FOR ALL LOFT AREAS (WHERE APPLICABLE) TO COMPLY WITH SECTION R323 USING:
 EXCEPTION #1- THE USE OF AN APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR.
 EXCEPTION #2- WHERE EXCEPTION #1 IS SATISFIED & ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVG. ILLUMINATION OF 6 FOOT CANDLES OVER THE AREA OF THE ROOM AT HEIGHT OF 30".

- GENERAL ROOF LAYOUT NOTES:**
- 1.01 PITCHES TO BE AS NOTED ON PLANS.
 - 1.02 HIPS, VALLES & RIDGES TO BE FRAMED ONE SIZE LARGER THAN RAFTERS.
 - 1.03 ALL PLUMBING, ATTENDANCE AND GAS VENTS TO VENT TO ROOF OR TO ROOF RIDGE WHERE VERIFIABLE. ALL VENTS TO BE SANGED TO THE FEWER NUMBER POSSIBLE PENETRATING THE ROOF.
 - 1.04 ALL OVERHANGS TO BE 18" FROM THE FRAME WALL UNLESS NOTED OTHERWISE.
 - 1.05 UNLESS ALL INTERIOR WALLS OF ONE-STORY PLANS TO BE LOAD BEARING.
 - 1.06 HATCHED AREAS INDICATE LOAD BEARING NON-VISOR WALLS THAT ARE ADDITIONAL LOAD BEARING WALLS THAT MAY BE REQUIRED AND MUST BE CALCULATED WHEN FLOOR SYSTEM IS ENGINEERED.
 - 1.07 HATCHING AT STACKING PERIMETER WALLS THAT ARE LOAD BEARING.
 - 1.08 ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
 - 1.09 WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN SPACING TO BE PER ENGINEER'S SPECIFICATIONS.
 - 1.10 ALL WALLS OVER 10' IN HEIGHT TO BE FRAMED WITH #2x6 STUDS IF WALLS OVER 10' IN HEIGHT ARE NOT BUILT WITH #2x6 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" O.C.
 - 1.11 BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
 - 1.12 ALL LOAD BEARING HEADERS SHOULD BE CALLED OR DROPPED BEAMS TO BE DESIGNED PER ENGINEER OR BUILDER.

- GENERAL NOTES:**
1. CONCRETE SHALL DEVELOP 3,220 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS. 5 SACKS OF CEMENT MINIMUM PER YARD OF CONCRETE. USE AIR ENTRAINING ADJUSTURES IN ALL CONCRETE PROVIDING AIR CONTENT BETWEEN 2% AND 4%. ALSO A WATER REDUCING ADMIXTURE EQUAL TO MASTER BLDGERS POZZOLITH 322 (6 OZ. PER CY OF CONCRETE) SHALL BE USED IN ALL CONCRETE.
 2. CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 5".
 3. FORTIFYING SHALL HAVE A MAXIMUM SLUMP OF 5".
 4. FILL MATERIAL SHALL BE COMPRISED OF NON-SWELLING HOMOGENEOUS EARTH WHICH SHALL HAVE A MAXIMUM #100 SUCUMETER. SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE.
 5. THE BUILDING AREA SHALL BE CLEARED OF DEBRIS AND ORGANIC MATERIAL PRIOR TO FOUNDATION CONSTRUCTION.
 6. MEMBRANE WATERPROOFING SHALL BE COMPRISED OF 1 LAYER OF 6 MIL POLYETHYLENE MEMBRANE.
 7. PROVIDE 2" MINIMUM CLEAR COVER ON ALL BEAM STEEL AND 1 1/2" CLEAR COVER ON ALL SLAB STEEL. PROVIDE BRICK SITS OR OTHER SUITABLE SUPPORTS TO MAINTAIN STEEL IN THE POSITION CALLED FOR IN THESE PLANS AND SPECIFICATIONS.
 8. PROVIDE A MINIMUM OF 40 DIAMETER SPICE FOR ALL BEAM AND SLAB STEEL. RUN STEEL FULL STOCK LENGTHS. HOOK ALL BEAM STEEL AT DISCONTINUOUS ENDS WITH A 90 DEGREE STANDARD-HOOK (BOTTOM BARS ONLY), STRADDLE TOP AND BOTTOM BEAM SPLICES.
 9. AT ALL BEAM INTERSECTION LET DEEPER DEPTH BEAM CARRY THROUGH.
 10. THE FILL MATERIAL AS WELL AS SUBSOIL SHALL BE THOROUGHLY DAMPENED IMMEDIATELY PRIOR TO POURING OF CONCRETE TO PROVIDE AT LEAST THE AMOUNT OF OPTIMUM MOISTURE CALLED FOR ON THESE SPECIFICATIONS.
 11. THE CONTRACTOR SHALL POUR THE FOUNDATION SLAB AND BEAMS AS SOON AS POSSIBLE AFTER BEAM FORMING AND EXCAVATION FROM FORMING 1 MINIMUM DELAY THEREOF.
 12. PROVIDE SPRAY CURB IMMEDIATELY AFTER SET OF CONCRETE.
 13. OPEN AREAS SUCH AS KITCHEN, LIVING AND DINING REQUIRING INSTALLATION OF LVLS TO COMPLY WITH JOIST SPAN, SECTION R602.5.1; IRC 2018



2 STORY STUCCO WALL SECTION



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AREA TABULATION

LOWER LIVING AREA	2297.76
UPPER LIVING AREA	908.72
TOTAL LIVING AREA	3206.48

GARAGE	492.51
FRONT ENTRY	48.05
COVERED PATIO	225.37
OUTDOOR KITCHEN	N/A
BALCONY	N/A
PALAPA	N/A
POOL HOUSE AREA	N/A

TOTAL AREA	3972.43
-------------------	----------------

PROJECT INFORMATION

FERNANDO SOLIS
 LOT 9 BLOCK 2
 LAS HACENDAS
 RANCHO SUBD.
 CAMERON COUNTY, TX

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DESIGNED: RLJR

ISSUE DATE

DRAFTED: JG

08-19-2021

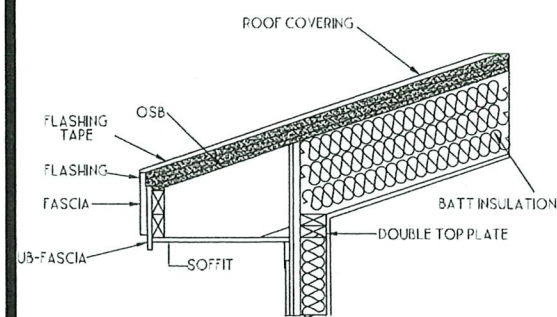
DRAWING NAME

ROOF PLAN

04

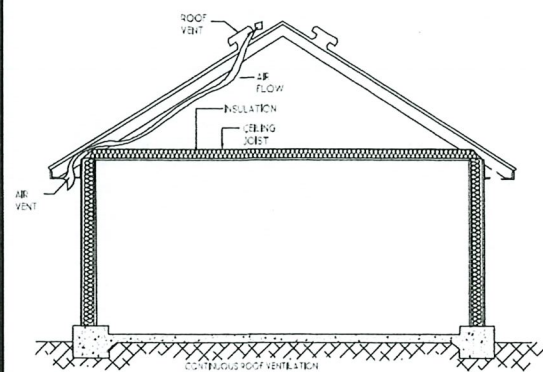
10

PROJECT #



TYPICAL AIR-PERMEABLE INSULATION DETAIL

NOT TO SCALE



TYPICAL CONTINUOUS ROOF VENTILATION

WALL SECTION - STUCCO

NOT TO SCALE

ROOF FORMULA:

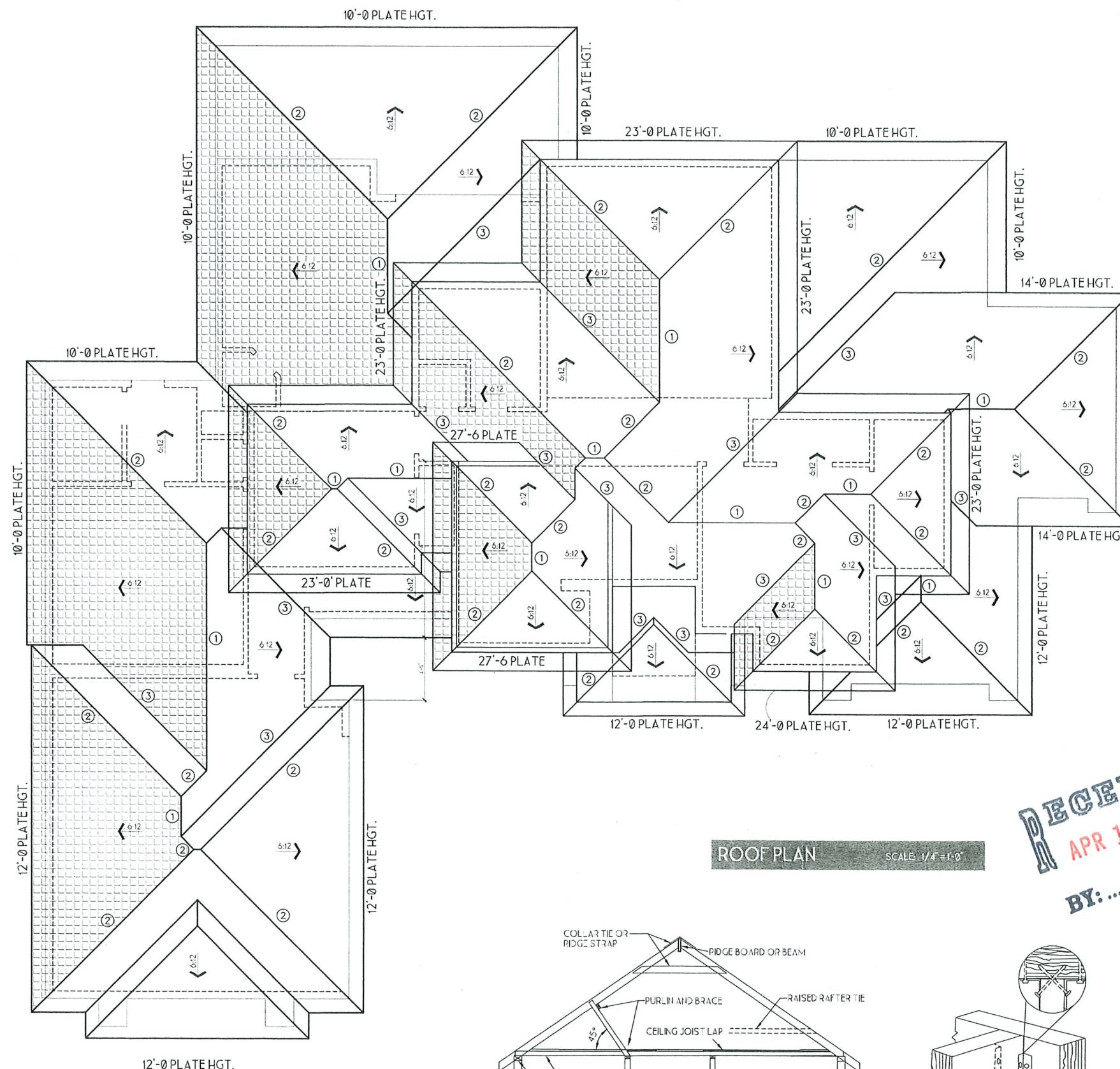
IF INSULATION AT CEILING TO BE BLOWN-IN, THEN THE FOLLOWING VENTS WILL BE REQUIRED TO COMPLY WITH IRC 2018 SECTION R805.2
 MINIMUM VENT NET FREE AREA: (23)
 SOFFIT VENTS: MINIMUM (12) SQ FT
 ROOF VENTS: MINIMUM (12) SQ FT

NOTES: UNLESS NOTED OTHERWISE (UNO.)

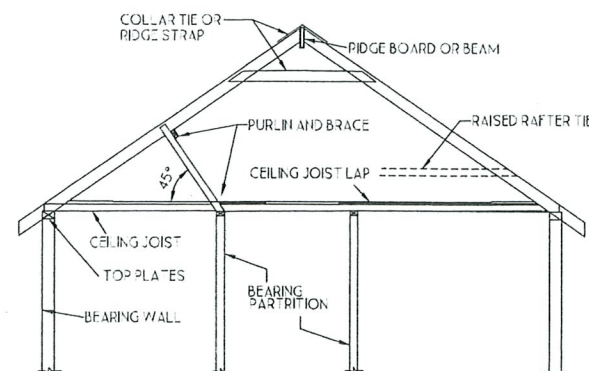
- 01: ASPHALT SHINGLES
- 02: 7/12 ROOF PITCH
- 03: 15' OVERHANG

LEGEND

- ① RIDGE
- ② TIP
- ③ VALLEY
- ④ PERGOLA
- ⑤ KICKOUTS
- ⑥ CRICKET
- ⑦ RAKE
- ⑧ FLAT ROOF
- ⑨ ROOF VENTS

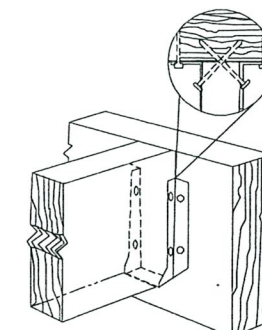


ROOF PLAN SCALE: 1/4" = 1'-0"



TYPICAL BRACING DETAIL

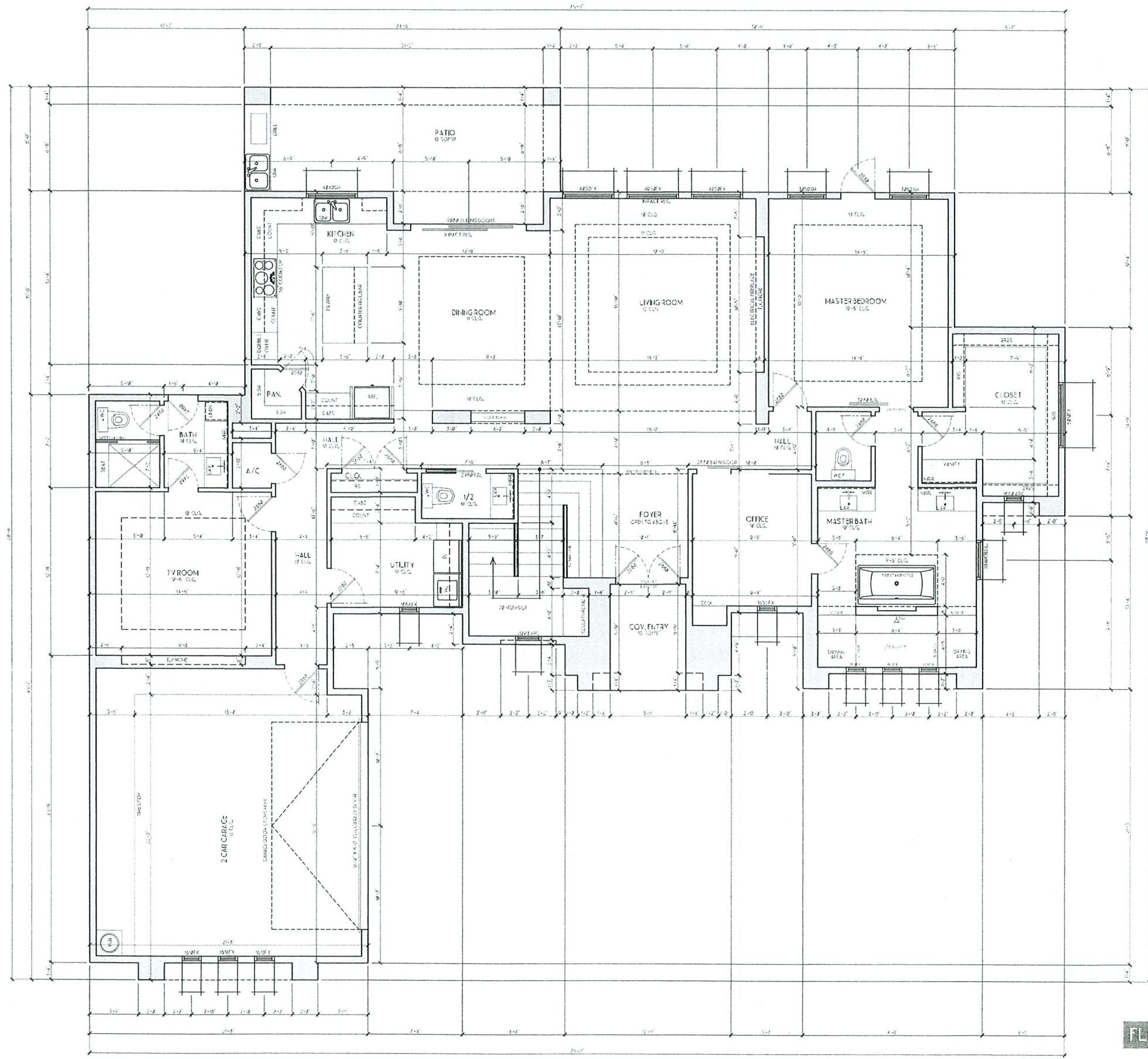
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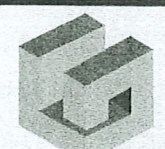
BUCKET BRACKET DETAIL

NOT TO SCALE

RECEIVED
 APR 10 2024
 BY: *HP*



FLOOR PLAN SCALE: 1/4" = 1'-0"



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POOL HOUSE AREA	N/A
TOTAL AREA	3972.43

PROJECT INFORMATION
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 RANCHO SUBD.
 CAMERON COUNTY, TX

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DESIGNED RLJR	ISSUE DATE
DRAFTED JG	08-19-2021

DRAWING NAME
 ROOF PLAN

05 10

PROJECT #

RECEIVED
 APR 10 2024
 BY: *LR*



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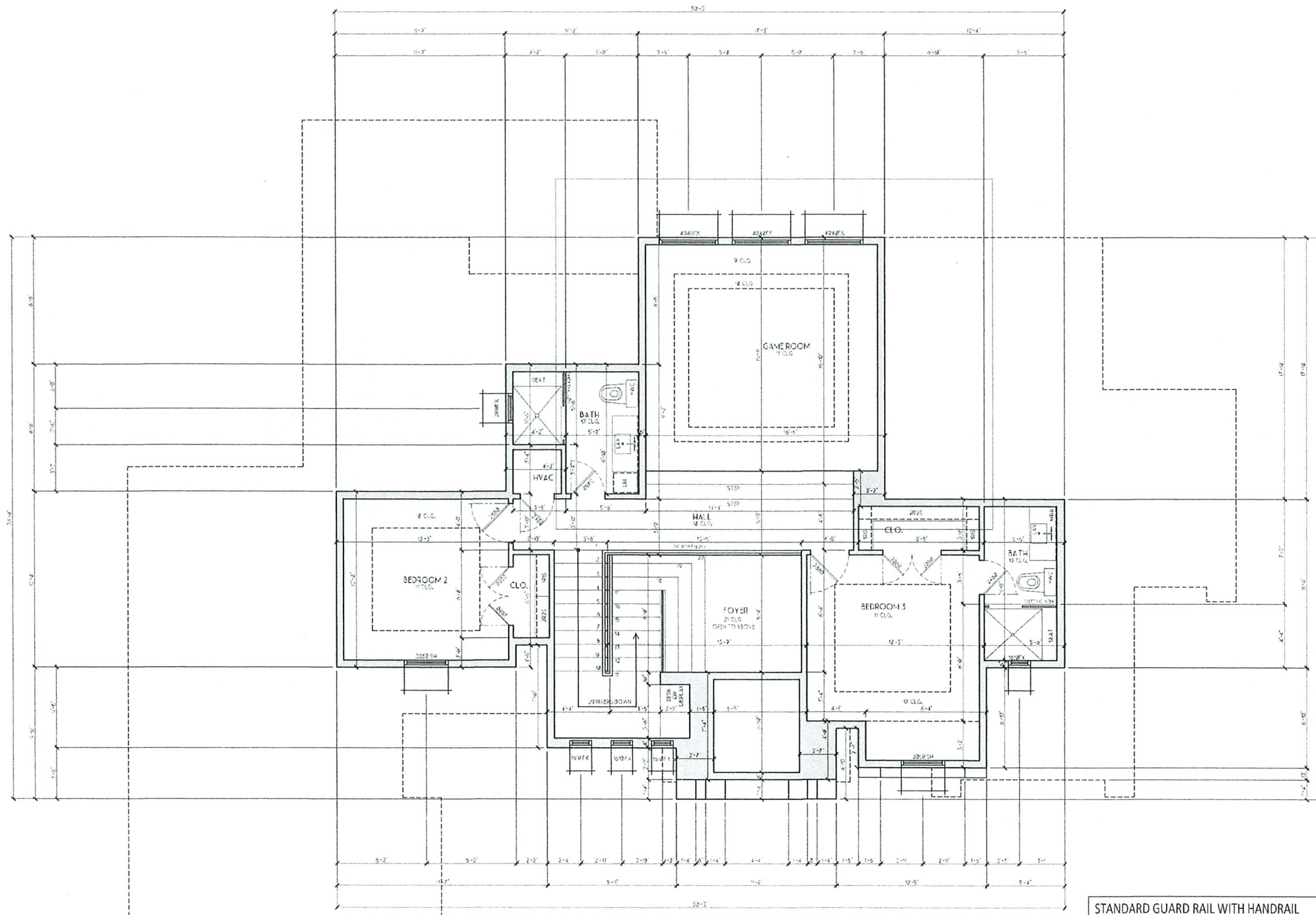
DESIGNED RLJR	ISSUE DATE
DRAFTED JG	08-19-2021

DRAWING NAME

ROOF PLAN

06 10

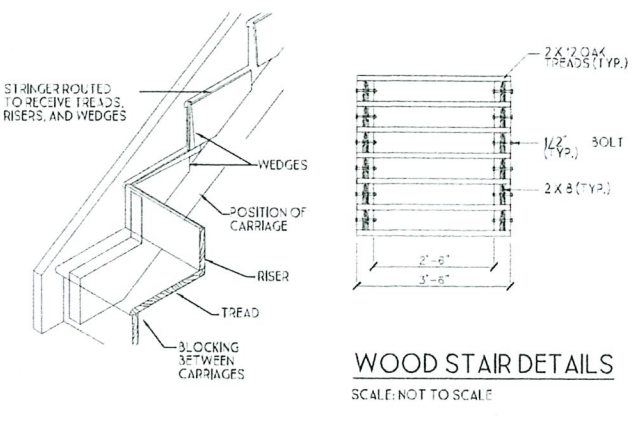
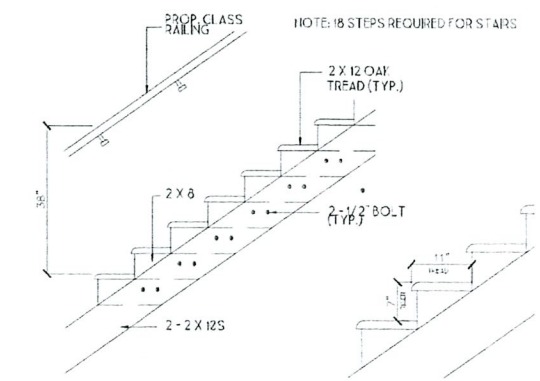
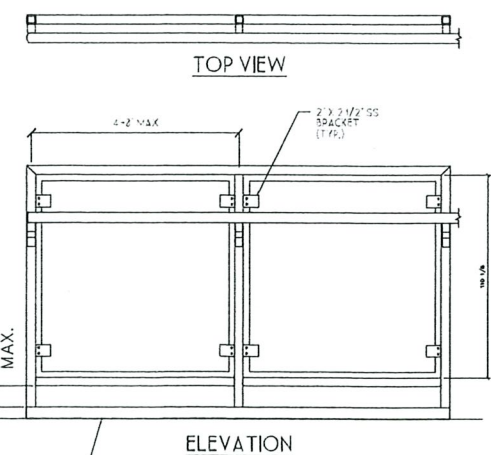
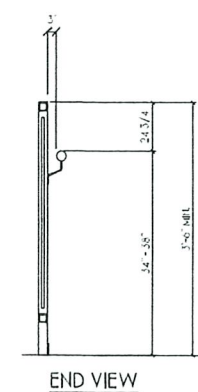
PROJECT #



FLOOR PLAN SCALE: 1/4" = 1'-0"

STANDARD GUARD RAIL WITH HANDRAIL
1. POST AND TOPLINE MATERIAL TO BE SS 1 1/2" x 1 1/2" x 0.120"
2. HANDRAIL MATERIAL TO BE 1 1/2" x 1 1/2" SS TUBE
3. PANEL TO BE 3/8" TEMPERED GLASS

HANDRAIL BRACKET #3436R CR1201.4
PANEL BRACKET #1 1/2" x 2 1/2" SS BRACKET



WOOD STAIR DETAILS
SCALE: NOT TO SCALE



LUCAS DESIGN GROUP

2815 CENTRAL BLVD.
BROWNSVILLE TX, 78520
SUITE A

OFFICE: 956-525-7003

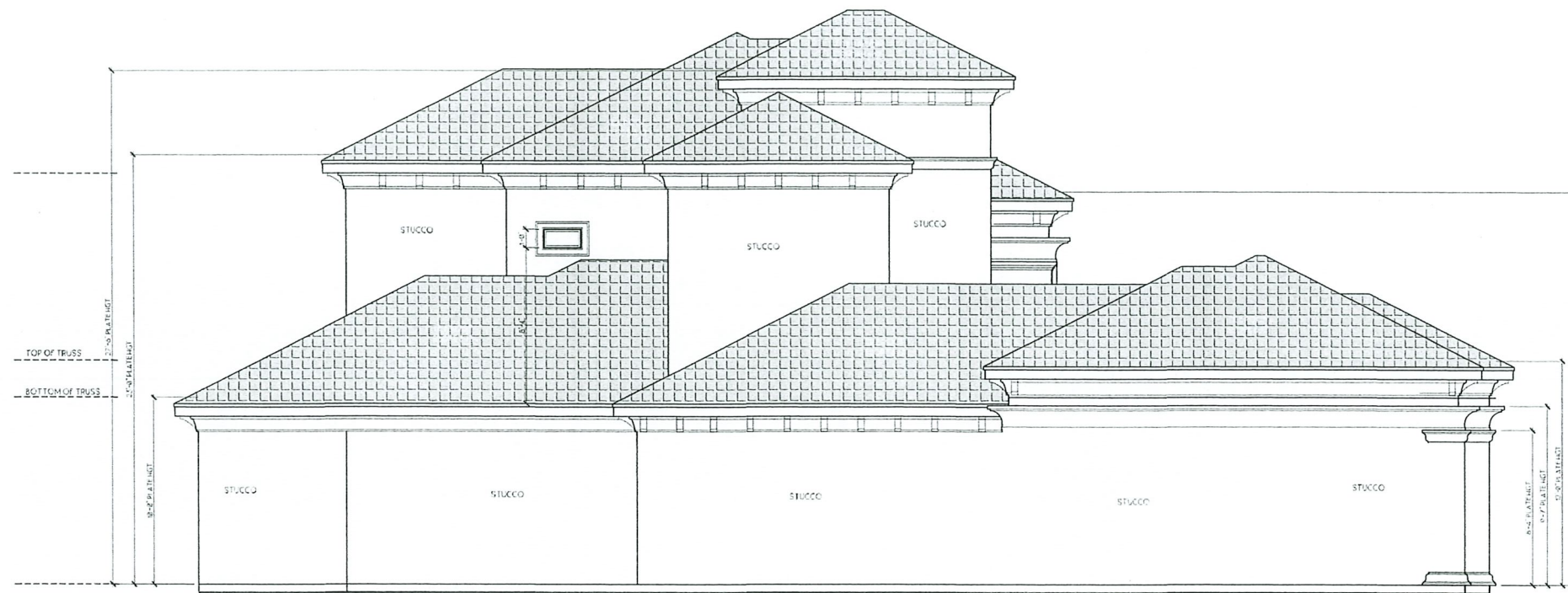
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LEFT EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

AREA TABULATION

LOWER LIVING AREA	2297.76
UPPER LIVING AREA	906.72
TOTAL LIVING AREA	3206.48

GARAGE	492.51
FRONT ENTRY	48.05
COVERED PATIO	225.37
OUTDOOR KITCHEN	N/A
BALCONY	N/A
PALAPA	N/A
POOL HOUSE AREA	N/A

TOTAL AREA	3972.43
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PROJECT INFORMATION

FERNANDO SOLIS
LOT 9 BLOCK 2
LAS HACIENDAS
RANCHO SUBD.
CAMERON COUNTY, TX

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BY: *RP*

DESIGNED
RLJR

ISSUE
DATE

DRAFTED
JG

08-19-2021

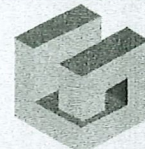
DRAWING NAME

ELEVATIONS

07

10

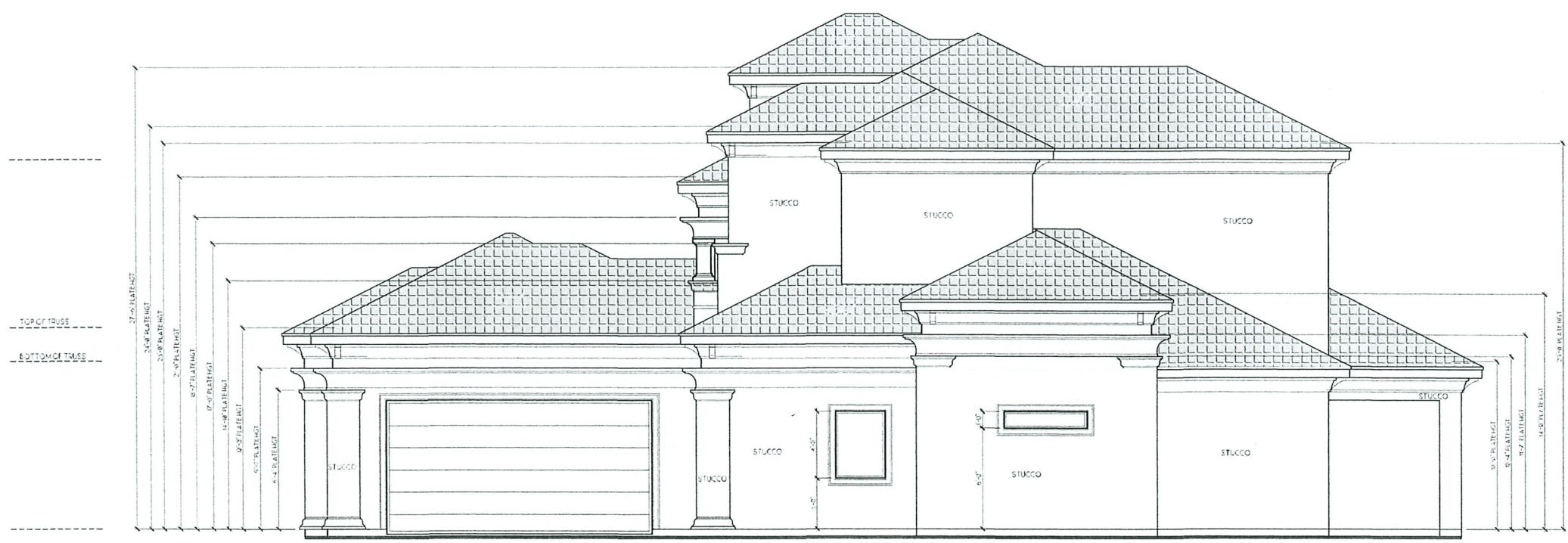
PROJECT #



LUCAS DESIGN GROUP
 2815 CENTRAL BLVD.
 BROWNSVILLE TX, 78520
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RIGHT EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

AREA TABULATION

LOWER LIVING AREA	2297.76
UPPER LIVING AREA	908.72
TOTAL LIVING AREA	3206.48

GARAGE	492.51
FRONT ENTRY	48.05
COVERED PATIO	225.37
OUTDOOR KITCHEN	N/A
BALCONY	N/A
PALAPA	N/A
POOL HOUSE AREA	N/A

TOTAL AREA	3972.43
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PROJECT INFORMATION
 FERNANDO SOLIS
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 CAMERON COUNTY, TX

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 BY: *[Signature]*

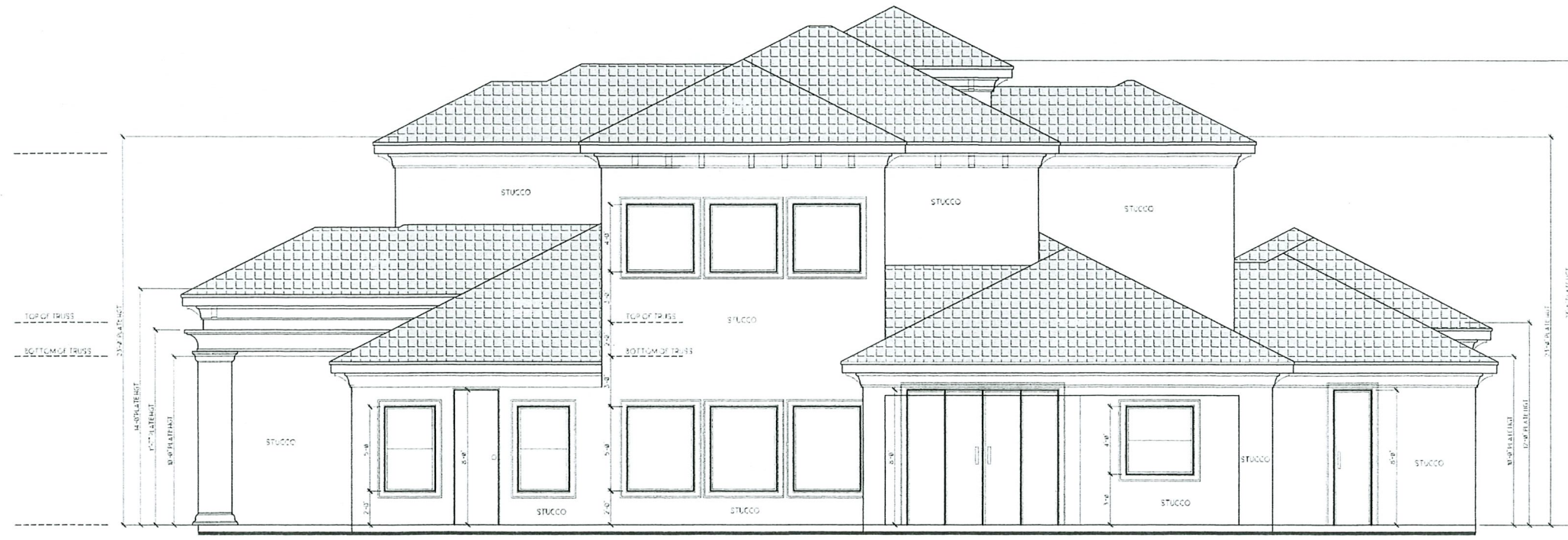
DESIGNED RLJR	ISSUE DATE
DRAFTED JG	08-19-2021

DRAWING NAME

ELEVATIONS

08 10

PROJECT #



BACK EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



LUCAS DESIGN GROUP

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AREA TABULATION

LOWER LIVING AREA	2297.76
UPPER LIVING AREA	988.72
TOTAL LIVING AREA	3286.48

GARAGE	492.51
FRONT ENTRY	48.85
COVERED PATIO	225.37
OUTDOOR KITCHEN	N/A
BALCONY	N/A
PALAPA	N/A
POOL HOUSE AREA	N/A

TOTAL AREA	3972.43
------------	---------

PROJECT INFORMATION

FERNANDO SOLIS
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LAS HACIENDAS
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CAMERON COUNTY, TX

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DESIGNED
RLJR

ISSUE
DATE

DRAFTED
AV-JG

08-19-2021

DRAWING NAME

ELECTRICAL PLAN

09

10

PROJECT #

ELECTRICAL / MECHANICAL
SYMBOLS LEGEND

SYMB.	DESCRIPTION
	DUPLEX RECEPTACLE, 18" A.F.F., U.N.D.
	DUPLEX RECEPTACLE, 42" A.F.F., GROUND FAULT CIRCUIT INTERRUPTER
	RECEPTACLE OUTLET, 42" A.F.F., 220 VOLT
	DUPLEX RECEPTACLE WATER PROOF
	DUPLEX RECEPTACLE FLOOR MOUNTED
	DUPLEX RECEPTACLE CEILING MOUNTED
	SINGLE OUTLET
	TELEPHONE OUTLET 18" A.F.F. OR AS NOTED
	DATA OUTLET 18" A.F.F. OR AS NOTED
	CABLE TELEVISION OUTLET 18" A.F.F. OR AS NOTED
	DOOR BELL
	CHIMES
	HUMIDITY PROOF INCANDESCENT LIGHT FIXTURE CEILING SURFACE MOUNT
	PUSH BUTTON ACTIVATION ELECTRICAL SWITCH FOR TASK LIGHTS (UNDER CABINETS)
	A.C. TOGGLE SWITCH, SINGLE POLE 120-277 VAC, 48" A.F.F.
	INCANDESCENT DIMMER SWITCH 1500W, 48" A.F.F.
	DUPLEX OUTLET, WEATHERPROOF W/GROUND FAULT INDICATOR
	FAN W/ LIGHT FIXTURE CEILING SURFACE MOUNT
	2 LAMP FLUORESCENT LIGHT FIXTURE
	INCANDESCENT LIGHT FIXTURE CEILING SURFACE MOUNT
	INCANDESCENT LIGHT FIXTURE WALL MOUNT
	INCANDESCENT "CAN" LIGHT FIXTURE RECESSED
	CHANDELIER
	INTERCOM
	FLUORESCENT LIGHT FIXTURE
	FLOOD LIGHTS
	WALL MOUNTED VANITY LIGHT FIXTURE
	FAN EXHAUST UNIT W/ LIGHT
	MOTOR STARTER
	GARAGE DOOR OPENER
	MOTION SENSOR
	SMOKE/CARBON DETECTOR
	SMOKE DETECTOR
	THERMOSTAT
	LOW VOLTAGE TASK LIGHT
	GARBAGE DISPOSAL
	POWER PANEL
	RECESSED POWER PANEL
	ELECTRIC METER
	JUNCTION BOX
	DISCONNECT SWITCH
	HOSE BIBB
	STEREO SPEAKER VOLUME CONTROL
	LIGHT FIXTURE W/PULL SWITCH
	WALL MOUNTED SCONCE LIGHT FIXTURE
	LOW VOLTAGE LIGHT FIXTURE W/PHOTOCELL SWITCH
	ELECTRICAL WIRING

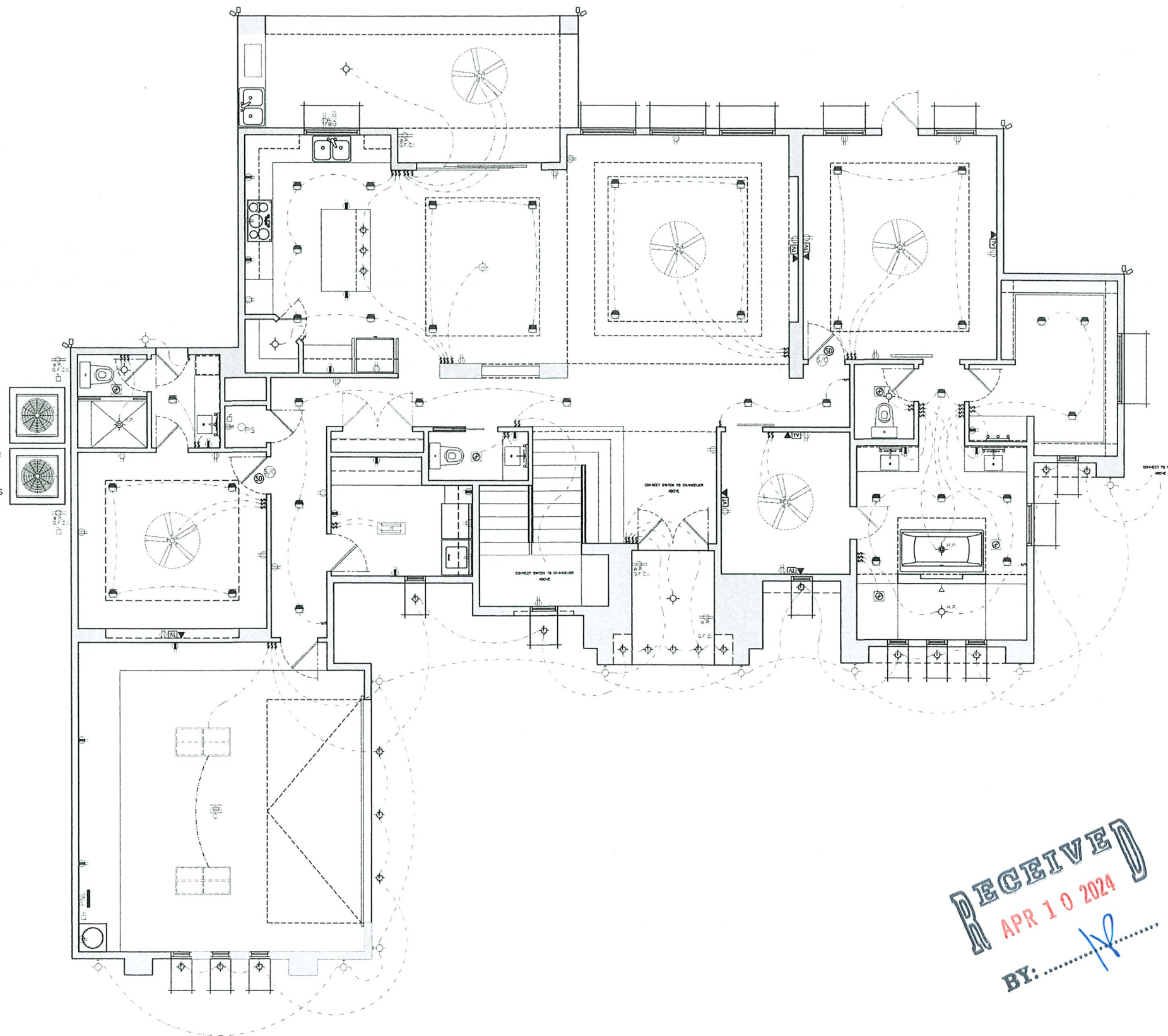
NOTE: - MECHANICAL CONTRACTOR TO VERIFY SIZE AND PLACEMENT OF ALL MECHANICAL EQUIPMENT

ELECT. SERVICE NOTES

- RECEPTACLES SHALL BE SPACED SO THAT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'0" FROM AN OUTLET, AND OVER ANY COUNTER SPACE WIDER THAN 12"
- RECEPTACLES IN BATHROOMS, GARAGES OR LOCATED OUTDOORS SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTION SYSTEM (GFI, W.P.)
- SMOKE DETECTORS SHALL BE PLACED NO MORE THAN 12" FROM THE CEILING AND 3'0" FROM DUCT OPENINGS SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND INTERCONNECTED, PROTECTING ALL SLEEPING AREAS
- OUTLET BOXES IN WALL BETWEEN THE DWELLING AND THE GARAGE SHALL BE METAL OR ULL APPROVED PLASTIC.
- SWITCH PLATES AT 42" A.F.F. TO CENTER TYPICAL
- ALL LIGHTING FIXTURES IN CLOSETS SHALL BE LOCATED MINIMUM 18" FROM ALL SHELVES
- TWO OR MORE 20 AMP SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED TO SERVE THE KITCHEN, BREAKFAST, AND OUTLETS, (N.E.C. ART 220-3(C))
- ELECTRICAL CONTRACTOR SHALL VERIFY LANDSCAPE LIGHTING WITH OWNER BEFORE COMMENCING WORK.
- EQUIPMENT ACCESS DOOR FOR A/C IN ATTIC MUST BE LOCATED NO MORE THAN 20 FEET AWAY FROM EQUIPMENT AND MUST BE PROVIDED WITH AN UNOBSTRUCTED WALKWAY AT LEAST 24" WIDE AND 32" IN HEIGHT, AND MUST PROVIDE 30" WIDE PLATFORM AROUND ALL EDGES OF EQUIPMENT FOR SERVICE, MUST BE PROVIDED WITH A LIGHT AND SWITCH AND CIRCUIT FOR EQUIPMENT SERVICE.
- WASHER AND DRYER TO BE CONNECTED TO NEAREST G.F.C.I. CIRCUIT

ELECT. GROUNDING NOTES

- CONSULT LOCAL UTILITY AND LOCAL CODE FOR PROPER SYSTEM GROUNDING.
- ALL INTERIOR METALLIC WATER PIPING WHICH MAY BECOME ENERGIZED SHALL BE BONDED TOGETHER AND MADE ELECTRICALLY CONTINUOUS A BOND BARE COPPER WIRE #4 SHALL BE MADE BETWEEN THE BONDED PIPING SYSTEM AND THE GROUNDING ELECTRODE CONDUCTOR AT THE SERVICE DISCONNECT MEANS.
- THE INTERIOR METAL COLD WATER PIPING SYSTEM SHALL BE BONDED TO THE SERVICE EQUIPMENT ENCLOSURE, THE GROUNDING CONDUCTOR OR AT THE SERVICE THE GROUNDING ELECTRODE, OR TO ONE OR MORE GROUNDING ELECTRODES USED.
- OUTLETS FOR RECEPTACLES RATED AT 125 VOLTS, 15- AND 20- AMPERES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION'S E39812 THROUGH E39811



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BY: [Signature]

ELECTRICAL-LOWER FLOOR 1/4" SCALE



LUCAS DESIGN GROUP

2815 CENTRAL BLVD.
BROWNSVILLE TX, 78520
SUITE A

OFFICE: 956-525-7803

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AREA TABULATION

LOWER LIVING AREA	2297.76
UPPER LIVING AREA	908.72
TOTAL LIVING AREA	3206.48

GARAGE	492.51
FRONT ENTRY	48.05
COVERED PATIO	225.37
OUTDOOR KITCHEN	N/A
BALCONY	N/A
PALAPA	N/A
POOL HOUSE AREA	N/A

TOTAL AREA	3972.43
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PROJECT INFORMATION

FERNANDO SOLIS
LOT 9 BLOCK 2
LAS HACIENDAS
RANCHO SUBD.
CAMERON COUNTY, TX

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DESIGNED RLJR	ISSUE DATE
DRAFTED AY-JG	08-19-2021

DRAWING NAME

ELECTRICAL PLAN

10	10
----	----

PROJECT #

ELECTRICAL / MECHANICAL SYMBOLS LEGEND

SYMB.	DESCRIPTION
	DUPLEX RECEPTACLE, 18" A.F.F., U.N.O. 3 WIRE GROUNDING
	DUPLEX RECEPTACLE, 42" A.F.F. GROUND FAULT CIRCUIT INTERRUPTER
	RECEPTACLE OUTLET, 42" A.F.F., 220 VOLT
	DUPLEX RECEPTACLE WATER PROOF
	DUPLEX RECEPTACLE FLOOR MOUNTED
	DUPLEX RECEPTACLE CEILING MOUNTED
	SINGLE OUTLET
	TELEPHONE OUTLET 18" A.F.F., OR AS NOTED
	DATA OUTLET 18" A.F.F., OR AS NOTED
	CABLE TELEVISION OUTLET 18" A.F.F., OR AS NOTED
	DOOR BELL
	CHIMES
	HUMIDITY PROOF INCANDESCENT LIGHT FIXTURE CEILING SURFACE MOUNT
	PUSH BUTTON ACTIVATION ELECTRICAL SWITCH FOR TASK LIGHTS (UNDER CABINETS)
	A.C. TOGGLE SWITCH, SINGLE POLE 120-277 VAC, 48" A.F.F.
	INCANDESCENT DIMMER SWITCH 1500W, 48" A.F.F.
	DUPLEX OUTLET, WEATHERPROOF W/GROUND FAULT INDICATOR
	FAN W/ LIGHT FIXTURE CEILING SURFACE MOUNT
	2 LAMP FLUORESCENT LIGHT FIXTURE
	INCANDESCENT LIGHT FIXTURE CEILING SURFACE MOUNT
	INCANDESCENT LIGHT FIXTURE WALL MOUNT
	INCANDESCENT "CAN" LIGHT FIXTURE RECESSED
	CHANDELIER
	INTERCOM
	FLUORESCENT LIGHT FIXTURE
	FLOOD LIGHTS
	WALL MOUNTED VANITY LIGHT FIXTURE
	FAN EXHAUST UNIT W/ LIGHT
	MOTOR STARTER
	GARAGE DOOR OPENER
	MOTION SENSOR
	SMOKE/CARBON DETECTOR
	SMOKE DETECTOR
	THERMOSTAT
	LOW VOLTAGE TASK LIGHT
	GARBAGE DISPOSAL
	POWER PANEL
	RECESSED POWER PANEL
	ELECTRIC METER
	JUNCTION BOX
	DISCONNECT SWITCH
	HOSE BIBB
	STEREO SPEAKER VOLUME CONTROL
	LIGHT FIXTURE W/PULL SWITCH
	WALL MOUNTED SCONCE LIGHT FIXTURE
	LOW VOLTAGE LIGHT FIXTURE W/PHOTOCELL SWITCH
	ELECTRICAL WIRING

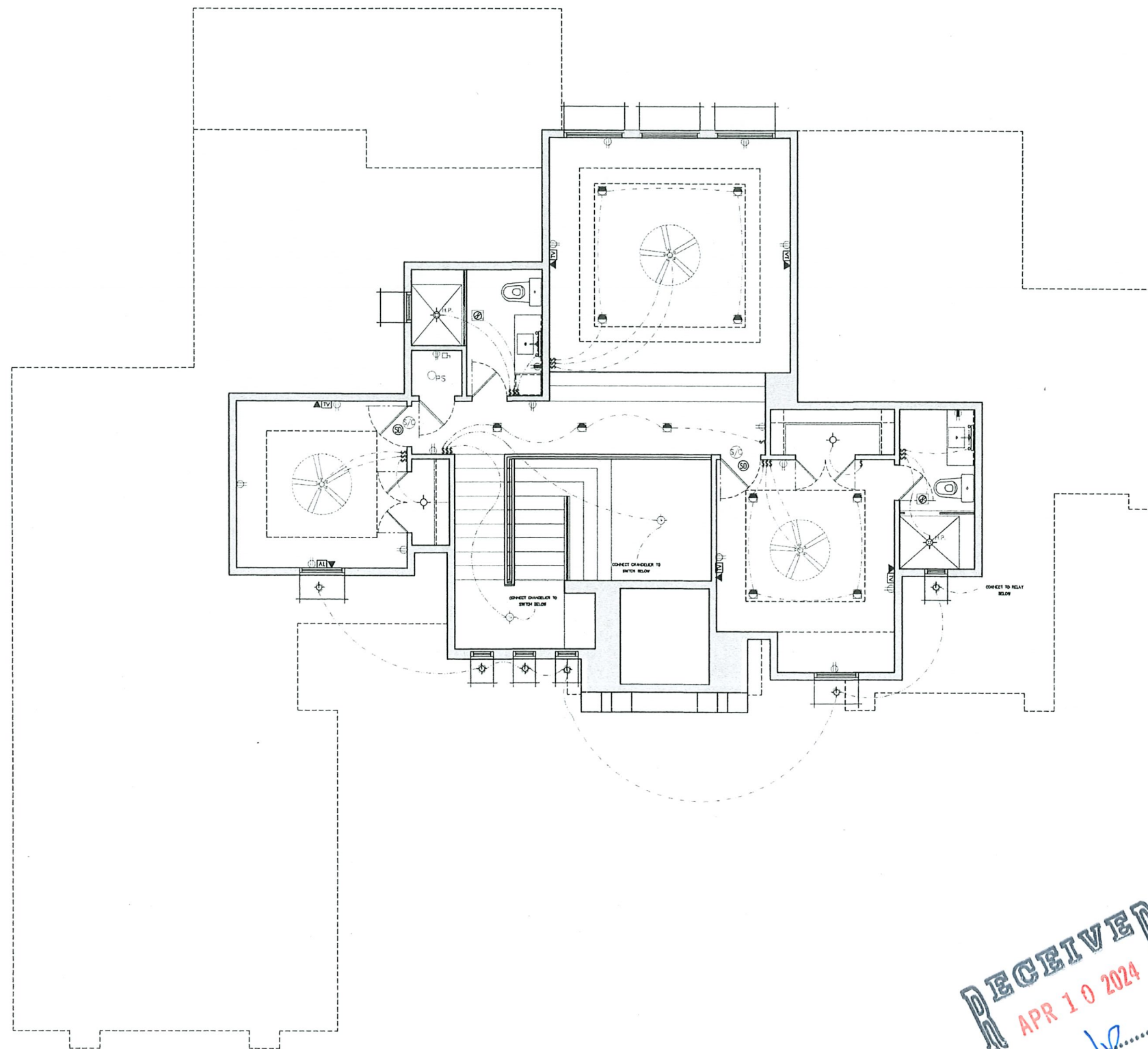
NOTE: - MECHANICAL CONTRACTOR TO VERIFY SIZE AND PLACEMENT OF ALL MECHANICAL EQUIPMENT

ELECT. SERVICE NOTES

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- SMOKE DETECTORS SHALL BE PLACED NO MORE THAN 12" FROM THE CEILING AND 3'0" FROM DUCT OPENINGS. SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND INTERCONNECTED, PROTECTING ALL SLEEPING AREAS
- OUTLET BOXES IN WALL BETWEEN THE DWELLING AND THE GARAGE SHALL BE METAL OR U.L. APPROVED PLASTIC.
- SWITCH PLATES AT 42" A.F.F. TO CENTER TYPICAL
- ALL LIGHTING FIXTURES IN CLOSETS SHALL BE LOCATED MINIMUM 16" FROM ALL SHELVES
- TWO OR MORE 20 AMP SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED TO SERVE THE KITCHEN, BREAKFAST, AND OUTLETS, NEG. ART 220-3(C)
- ELECTRICAL CONTRACTOR SHALL VERIFY LANDSCAPE LIGHTING WITH OWNER BEFORE COMMENCING WORK.
- EQUIPMENT ACCESS DOOR FOR A/C IN ATTIC MUST BE LOCATED NO MORE THAN 20 FEET AWAY FROM EQUIPMENT AND MUST BE PROVIDED WITH AN UNOBSTRUCTED WALKWAY AT LEAST 24" WIDE AND 32" IN HEIGHT, AND MUST PROVIDE 30" WIDE PLATFORM AROUND ALL EDGES OF EQUIPMENT FOR SERVICE. MUST BE PROVIDED WITH A LIGHT AND SWITCH AND GFCI FOR EQUIPMENT SERVICE.
- WASHER AND DRYER TO BE CONNECTED TO NEAREST G.F.C.I. CIRCUIT

ELECT. GROUNDING NOTES

- CONSULT LOCAL UTILITY AND LOCAL CODE FOR PROPER SYSTEM GROUNDING.
- ALL INTERIOR METAL HOT WATER PIPING WHICH MAY BECOME ENERGIZED SHALL BE BONDED TOGETHER AND MADE ELECTRICALLY CONTINUOUS A BOND BARE COPPER WIRE #4 SHALL BE MADE BETWEEN THE BONDED PIPING SYSTEM AND THE GROUNDING ELECTRODE CONDUCTOR AT THE SERVICE DISCONNECTING MEANS.
- THE INTERIOR METAL COLD WATER PIPING SYSTEM SHALL BE BONDED TO THE SERVICE EQUIPMENT ENCLOSURE, THE GROUNDING CONDUCTOR AT THE SERVICE, THE GROUNDING ELECTRODE, OR TO ONE OR MORE GROUNDING ELECTRODES USED.
- OUTLETS FOR RECEPTACLES RATED AT 125 VOLTS, 15- AND 20- AMPERES SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS E3001.2 THROUGH E3001.11



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ELECTRICAL-UPPER FLOOR 1/4" SCALE